

April 2024

FRONT YARD SET BACK TREE REMOVAL REQUEST

Date:3/26/2024Requested by:Gail Fisher Gail.L.Fisher@gmail.comAddress:952 Alameda Padre Serra, Santa Barbara, CA 93103Location of Tree:952 Alameda Padre Serra, Santa Barbara, CA 93103Tree Species:(2) Schinus molle, Common Name: Pepper TreeZoning/Setback:RS-15 30'

Reason for Removal: This application is associated with a new development of an ADU located at 952 Alameda Padre Serra. The ADU will be located on the north side of the property off Roble Lane on the Riviera in a high fire area, so it requires parking. This is the only area possible for designated parking as the property is located on a 42% slope.

Proposed Replacement: Yes 🛛 2 peppers	s and several prunus trees.	No 🗌
Advisory Committee Recommendation: Co	nditionally Approve Removal:	🛛 Deny Removal: 🗌 N/A 🗌
Staff Recommendation: Approve Removal:	Deny Removal:	N/A 🖂

Date Posted: 4/16/2024.

Comments: The Committee recommends (4/0) that the Commission approve the removals as proposed on the application.

PHOTO INVENTORY



Front Yard 952 Alameda Padre Serra – Gail Fisher 4-24-24



Tree Removal Application

APPLICANT/OWNER DETAILS

Fisher		C	Gail
YOUR LAST NAME		Y	OUR FIRST NAME
OWNER'S FULL NAME (IF YOU ARI	E NOT THE OWNER)		
952 Alameda Padre Serra			
YOUR MAILING ADDRESS			
Santa Barbara		СА	93103
CITY		STATE	ZIP CODE
909-578-8043	Gail.L.Fisher@gmail.co	om	
DAYTIME PHONE	EMAIL ADDRESS		
TREE INFORMATIOI	V		
TYPE OF TREE: SETBACK TR	EE(S) STREET TREE(S)		
2 952 Al	ameda Padre SerraTr	ne backyard, als	o a front setback, is located west of neighbor
NUMBER OF TREES	ON OF TREE(S)) – please be sure	e to indicate the <mark>pro</mark>	operty address where the trees are located
Pepper			
SPECIES OF TREE(S), IF KNOWN			
 Status of development applic Review, or Historic Landmark Whether or not the tree is a de If you feel you need more space to out This application is associate property has two front set on the Riviera in a high fire parking as the property is and some of their brancher mature oak on the wester There are a number of ma jacarandas, four mature p of) creating a dense canop have planted along the ear completed. There is so muc WILL YOU REPLACE THE TREE(S)? IF YES, WHAT WILL YOU REPLACE 	s Commission esignated Specimen or Historic Tree line the goals of your request, pleas ed with new development backs. The ADU will be loc e area so it requires parki located on a 42% slope. Is are intertwined. One of n edge of the property. ture trees throughout the ittosporum, two Loquat to by of shade throughout the stern part of the propert ch shade in the back yard YES NO See THE TREE(S) WITH?	is scheduled for review or located on a proper e feel free to attach a si t of an ADU loca ocated on the no ng. This is the of The two pepper f the pepper tree e property, inclu- trees and anoth he backyard. Th y. I intend to ad I of the property e attached com	relopment of property w by the Single Family Design Board, Architectural Board of rty with a design ated Historic Landmark upplemental letter when you submit this form. ated at 952 Alameda Padre Serra. The orth part of the property off Roble Lane nly area possible for the designated trees are growing very close together ees is very close to and encroaching on a uding seven mature oaks, two mature her mature tree (I don't know the name ere are also several prunus trees that I d more once construction is y, that I will need to get the required solar antinued reasons for removal reening on the eastern and western part of
	Gail	ed via SeamleesDocs.com Le Pisher 15c861 ff3f094d6327c0c93ba2e2]

952 Alameda Padre Serra

Tree Removal Reasons

This application is associated with new development of an ADU located at 952 Alameda Padre Serra. The property has two front setbacks. The ADU will be located on the north part of the property off Roble Lane on the Riviera in a high fire area so it requires parking. This is the only area possible for the designated parking as the property is located on a 42% slope. The two pepper trees are growing very close together and some of their branches are intertwined. One of the pepper trees is very close to and encroaching on a mature oak on the western edge of the property.

There are a number of mature trees throughout the property, including seven mature oaks, two mature jacarandas, four mature pittosporum, two Loquat trees and another mature tree (I don't know the name of) creating a dense canopy of shade throughout the backyard. There are also several prunus trees that I have planted along the eastern part of the property. I intend to add more once construction is completed. There is so much shade in the back yard of the property, that I will need to get the required solar electricity using panels from my primary residence. I also plan to plant several prunus trees for screening along the western side of the property once the construction is completed. And, I'll replant two pepper trees south of the parking area.

We completed SHO - 952 Alameda Padre Serra (PLN2022-00319) on March 6, 2024. In reviewing the last Complete Letter dated January 2024, all Departments (including Creeks) gave the go ahead. The next steps (and assuming the project passes the appeal period for the SHO decision), is to get the approval for the removal of the two pepper trees in the setback. The project is not scheduled for review by the Architectural Board of Review or the Historic Landmarks Commission. The trees are not designated Specimens, Historic Trees, or located on a property with a designated Historic Landmark. Once the project is fully through the Parks & Rec. process, then the project will submit to return to the Single Family Design Board (SFDB), Consent, for Project Design Approval (PDA). Thank you, Gai Fisher, Owner



CONSTRUCTION DOCUMENTS ADDENDA	
1. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE CONTRACT DOCUMENTS, EXAMINE THE PROJECT SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK AND THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS. DURING BIDDING, THE CONTRACTOR SHALL OBTAIN PROPER, WRITTEN CLARIFICATION OF ANY DISCREPANCY, CONFLICT, AND/OR UNCLEAR ITEM PRIOR TO THE SUBMISSION OF BIDS. IF DISCEPANCIES ARRISE DURING CONSTRUCTION, DO NOT PROCEED WITH ANY INSTALLATION AND/OR CONSTRUCTION THAT MAY BE AFFECTED UNTIL ISSUES ARE RESOLVED.	1. POF ANI 2. THE CO 3. INSF REG
2. IT IS UNDERSTOOD THAT ALL CONTRACTORS AND THEIR PERSONNEL ARE PROPERLY TRAINED AND EXPERIENCED TO CONSTRUCT AND OTHERWISE CARRY OUT THE INTENT OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.	4. PRC REC MA FIRE
3. THE CONTRACT DOCUMENTS CONSIST OF THE COMPLETE PLANS, SPECIFICATIONS, REPORTS, BIDDING INFORMATION AND OTHER INFORMATION PREPARED BY BILDSTEN ARCHITECTURE & PLANNING, ITS CONSULTANTS OR CONSULTANTS HIRED BY THE OWNER. IN THE EVENT OF DISCREPANCIES OR CONFLICTS IN THE DOCUMENTS, INFORMATION IN THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE DRAWINGS. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.	5. FIRE 6. ADI BUIL FRC THE ARA
4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL THE CONTRACT DOCUMENTS AS THEY RELATE TO THE CONTRACTOR'S WORK. IN ADDITION, EACH CONTRACTOR IS RESPONSIBLE TO COORDINATE THEIR OWN WORK WITH THE WORK OF OTHER TRADES.	HIG APF SHA 7. SMC
5. ALL WORK IS TO CONFORM TO THE REQUIREMENTS OF THE <u>2019</u> CALIFORNIA RESIDENTIAL CODE (CRC), <u>2019</u> CALIFORNIA BUILDING CODE (CBC), AND ALL APPLICABLE STATE AND LOCAL ORDINANCES.	ELE ARE WIL
6. ONLY APPROVED WORKING DRAWINGS, WITH THE STATEMENT "ISSUED FOR CONSTRUCTION" ON THE COVER SHEET, ARE TO BE USED FOR CONSTRUCTION OF THIS PROJECT. CONTRACTORS USING OTHER THAN APPROVED DRAWINGS ARE SOLELY RESPONSIBLE FOR SUCH WORK.	8. CAI ACU SEC
7. ALL DIMENSIONS ARE TO FACE OF STUD IN THE WALL SYSTEM, FACE OF CONCRETE (or CMU), OR CENTER LINE OF WALL UNLESS OTHERWISE NOTED.	
8. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND IMMEDIATELY REPORT ANY DISCREPANCIES OR VARIATIONS TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.	
9. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS, SHALL COMPLY WITH THE CRC (CBC 2406 and CRC 308.1, R308.4)	Februa Ken Ve
10. CONTRACTOR SHALL VERIFY ELECTRICAL AND MECHANICAL LOADS GENERATED BY ALL EQUIPMENT PRIOR TO ORDERING. ITEMS AFFECTING THE ARCHITECTURAL NATURE OR STRUCTURE OF THE PROJECT, OR EXISTING CONSTRUCTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.	30 We Santa (310) 7
 FLASH AND SEAL ALL ROOF PENETRATIONS AND ROOF MOUNTED EQUIPMENT CURBS IN ACCORDANCE WITH ROOFING MANUFACTURER'S SPECIFICATIONS AND CURRENT S.M.A.C.N.A. STANDARDS. 	OAK ⁻ Serra
12. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CRC R302.9 (CBC TABLE 803.5)	BACK The pr
13. ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT INTERIOR WALL SURFACES, AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.	northe the pro recom
14. SUSPENDED CEILING SYSTEMS, WHERE USED, SHALL BE DESIGNED AND INSTALLED TO RESIST LATERAL FORCES INCLUDING ALL LIGHTING FIXTURES AND MECHANICAL SYSTEM COMPONENTS.	OBSE • Th
15. ALL HOLD-DOWNS SHALL BE SET IN PLACE BY USE OF TEMPLATE PRIOR TO FOUNDATION INSPECTION. SEE SHEAR SCHEDULE FOR ANCHOR BOLT SIZE AND SPACING OF ANCHOR BOLTS.	me 202 • Th
16. ALL FIRE RESISTIVE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CBC CHAPTER 7 AND BE CONSTRUCTED OF LISTED WALL, CEILING OR FLOOR ASSEMBLIES PER TABLES 721.1(1), 721.1(2), 721.1(3) AND ADDITIONAL APPROVED ASSEMBLIES LISTED BY THE LATEST GYPSUM ASSOCIATION DESIGN MANUAL.	• Th sig
17. ALL PENETRATIONS OF FIRE RESISTIVE WALL, CEILING AND ROOF ASSEMBLIES SHALL BE PER CBC CHAPTER 7 (716), INCLUDING LIMITATION OF SIZE, TYPE AND INDIVIDUAL FIRE RATING OF PENETRATING ITEMS OR ASSEMBLY. ADDITIONAL THROUGH WALL AND MEMBRANE PENETRATIONS SHALL BE PROVIDED WITH "F" OR "T" FIRE BLOCKING AS SPECIFIED AND APPROPRIATE PER CBC SECTION 712.3.1.1, 712.3.1.2, 712.3.2 FOR THE PENETRATION METHOD.	CONC • Th ou: • Wr 1/2 • If v an
SOIL & EXISTING CONDITIONS	Prepar Bill Sp
 GEOTECHNICAL REPORTS ARE NOT INCLUDED IN THE CONTRACT DOCUMENTS, BUT MAY BE MADE AVAILABLE TO CONTRACTOR FOR INFORMATION ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CONCLUSIONS CONTRACTOR MAY DRAW FROM SUCH INFORMATION. CONTRACTOR SHALL INVESTIGATE AND DETERMINE EXISTING SOILS AND SITE CONDITIONS UNDER WHICH CONTRACTOR WILL OPERATE IN PERFORMING THE WORK. 	Regist Americ Qualifi Board Americ Qualifi
2. THE CONSTRUCTION SHOWN IN THESE PLANS HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING SOILS REPORT SUBMITTED SEPARATELY:	
SOILS REPORT #: SR# 20216 PREPARED BY: HEATHCOTE GEOTECHNICAL - FRED HEATHCOTE P.E.	
DATED:May 24, 20213.A PRE CONSTRUCTION MEETING SHOULD BE HELD AT THE SITE BETWEEN THE OWNER, CONTRACTOR, GRADER AND HEATHCOTE GEOTECHNICAL ENGINEER. MEETING SHALL BE HELD MINIMUM 2 DAYS PRIOR TO STARTING ANY FIELD WORK.	
 THE ENGINEER SHALL INSPECT THE FOUNDATION IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE FOR THE FOUNDATIONS AND NOTIFY THE BUILDING OFFICIAL IN WRITING THE FOLLOWING: 	
 THAT THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT, THAT UTILITY TRENCHES HAVE BEEN PROPERLY BACK-FILLED AND COMPACTED, AND THAT THE FOUNDATION EXCAVATIONS COMPLY WITH THE INTENT OF THE SOILS REPORT. 	
5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXISTENCE AND PRECISE LOCATION OF THE UNDERGROUND PIPING AND OTHER STRUCTURES WHICH MAY BE AFFECTED BY CONSTRUCTION. PROMPTLY NOTIFY EACH UTILITY COMPANY, MUNICIPALITY, OR OTHER AGENCY OWNING OR OPERATING ANY AFFECTED FACILITIES OR STRUCTURES, AND REQUEST ENGINEERING INFORMATION AND MARKING OF FACILITIES IN FIELD PRIOR TO COMMENCING ANY WORK ON THE SITE. REMOVE ALL ITEMS SPECIFIED TO BE ABANDONED AND TAKE CARE TO PREVENT ANY DAMAGE TO, OR DISRUPTION OF ITEMS TO REMAIN.	
6. REFER TO SITE PLAN, SURVEY, AND/OR CIVIL PLANS FOR GRAPHICAL EXISTING SITE CONDITIONS.	
 A REPRESENTATIVE FROM <u>HEATHCOTE GEOTECHNICAL</u> IS REQUIRED TO OBSERVE PROGRESS AS RELATED TO THE EXCAVATION AND CONTACT BETWEEN THE STRUCTURE AND SOIL. REFER TO SOILS REPORT <u>PAGE 11</u> FOR IMPORTANT CONSTRUCTION OBSERVATION MONITORING GUIDELINES. 	

- D LOCATION TO BE DETERMINED BY THE FIRE DEPARTMENT.

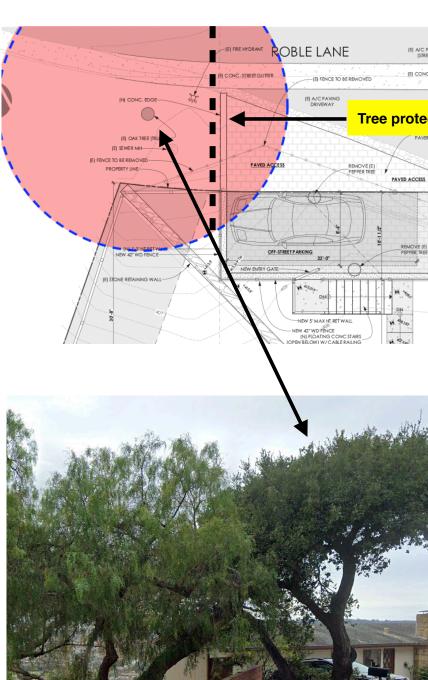


ermillion - Bildsten Architecture + Planning est Figueroa Street Barbara CA 93101

, Santa Barbara CA 93103

KGROUND AND ASSIGNMENT

FIRE DEPARTMENT NOTES RTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED FOR THIS STRUCTURE. FIRE EXTINGUISHER SIZE FISHER ADU: FRONT YARD MODIFICAT STRUCTURE SHALL BE IN COMPLIANCE WITH THE APPLICABLE SECTIONS OF THE UNIFORM FIRE DE AND CALIFORNIA CODE OF REGULATIONS, TITLE 19. 952 ALAMEDA PADRE SERRA SANTA BARBARA, CA 93103 PECTION FOR COMPLIANCE WITH THESE CONDITIONS AND GENERAL FIRE SAFETY WILL BE QUIRED PRIOR TO OCCUPANCY. OJECT AND USE MUST MEET ALL APPLICABLE REQUIREMENTS OF THE STATE AND LOCAL **GENERAL AREA MAP** VICINITY MAP SULATIONS, CODES, AND ORDINANCES RELATED TO FIRE PROTECTION AND HAZARDOUS TERIALS THAT ARE ADOPTED AND IN EFFECT AT THE TIME OF ISSUANCE OF ANY BUILDING OR PROTECTION SYSTEM PERMIT FOR THE PROJECT AND/OR INITIATION OF THE USE. nta Barbara 🕤 ista Riviera 5 Bedroom SPRINKLER: NOT REQUIRED FOR ADU WHEN EXISTING PRIMARY DWELLING IS NOT SPRINKLERED DRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED LDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE A.P.S. OM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. Santa Barbara B SE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF4 INCHES (102 MM) h with a minimum stroke width OF0.5 Inch (12.7 mm) and shall be illuminated in an (**PROJECT LOCATION** PROVED MANNER (IF NUMBERS ARE ON THE EXTÉRIOR). NUMBER HEIGHT AND STROKE WIDTH ALL BE INCREASED ÀS NEEDED FOR LEGIBILITY BASED ÓN VISIBILITY DISTANCE. **PROJECT LOCATION OKE ALARM/DETECTORS:** SMOKE ALARM' DETECTORS SHALL BE WIRED TO THE BUILDING CTRICAL SYSTEM, BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN BATTERIES ELOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM L ACTIVATE ALL OTHER ALARMS. arns Wharf **RBON MONOXIDE ALARM/DETECTORS:** SHALL COMPLY WITH UL2034 AND BE INSTALLED IN CORDANCE WITH THE CALIFORNIA FIRE CODE AND CALIFORNIA HEALTH AND SAFETY CODE TION 17926. **OAK TREE ASSESSMENT & PROTECTION REPORT** vman's Auto Repair 💽 Bill Spiewak 💹 ONSULTING ARBORIST ary 28, 2023 APPLICABLE CODES **PROJECT & CODE ANALYSIS** 721-5301 **PROPERTY INFORMATION** STATE CODES: 2019 CALIFORNIA BUILDING CODE (BASED ON THE 2015 IBC) OWNER: GAIL L. FISHER 2019 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 IRC) TREE ASSESSMENT AND PROTECTION REPORT at 952 Alameda Padre 2019 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2014 NEC) SITE ADDRESS: 952 ALAMEDA PADRE SERRA Santa 2019 CALIFORNIA PLUMBING CODE (BASED ON THE 2015 UPC) 2019 CALIFORNIA MECHANICAL CODE (BASED ON THE 2015 ÚMC) PARCEL INFORMATION: COUNTY OF SANTA BARBARA MAP BK# 019-25 PARCEL LOT# 15 2019 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE) 2019 CALIFORNIA GREEN BUILDING STANDARDS roposed project at the subject property includes an improved parking space along the 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS TRACK #: N/A ern property line adjacent to Roble Ln. There is a 16"DBH oak along the roadside close to ASSESSORS PARCEL NUMBER: 019-252-015 oposed improvements. I was asked to prepare a report with my findings and LOCAL CODES: SANTA BARBARA MUNICIPAL CODE mendations regarding the oak tree and construction. ZONING REQUIREMENTS & INFORMATION: **GENERAL PLAN:** RIVIERA **TITLE 24 ENERGY:** RVATIONS ZONE: RS-15 CONSTRUCTION IS TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF CALIFORNIA e California Live Oak (Quercus agrifoia) has a 16" DBH (diameter at breast height ADMINISTRATIVE CODE, TITLE 24 AND THE 2019 CALIFORNIA ENERGY EFFICIANCY SETBACKS: FRONT:30 FT; INTERIOR: 10 asured at 54" above ground). The tree was in good condition during my site visit in late STANDARDS 20 and continues to be in good condition as per Google image taken more recently. MAX BUILDING HEIGHT: MAX ALLOWED: 25 FT; PR e tree's CRZ (critical root zone) has a 16' radius. PARKING REQ'D: ADU - (1) UNCOVERED (H ne proposed parking encroaches into less than 20% of the tree's CRZ which is not a nificant impact. **PARKING - EXISTING :** (1) COVERED FIRE PROTECTION LOT COVERAGE - ALLOWABLE: SEE F.A.R. CALCULATIONS ANY ITEMS WHICH PENETRATE FIRE RATED WALLS MUST BE EITHER FERROUS OR COPPER AND FIRE-CODE ANALYSIS: CLUSIONS AND PROTECTION MEASURES ANT TIENTS WHICH PENETRATE FIRE RATED WALLS NUST BE EITHER FERROUS OR COPPER AND FIRE-STOPPED. ELECTRICAL OUTLET BOXES INSTALLED IN FIRE RATED WALLS SHALL BE STEEL, SHALL NOT EXCEED SIXTEEN SQUARE INCHES IN AREA, AND SHALL NOT BE INSTALLED ANY CLOSER TOGETHER THAN ONE PER EVERY ONE HUNDRED SQUARE FEET OF WALL AREA. ITEMS WHICH PENETRATE FIRE ese improvements will not impact the oak tree provided it is protected with fencing at the **USE:**SINGLE FAMILY RESIDENCE tside edge of the work area and the two protection measures below are followed. **OCCUPANCY:** R-3/U (Residence) / (Private Garage) nen preparing soil for permeable pavers, cleanly cut any encountered oak roots that are RATED WALLS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF TWENTY-FOUR INCHES WHEN N OPPOSITE SIDES OF A WALL. " and greater in diameter. Do not apply pruning sealers as they are not effective. CONSTRUCTION TYPE: V-B work is done during the dry season, irrigate the root zone of the tree to moisten the soil to 2. WIRING WITHIN CONCEALED SPACES SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE **STORIES:** ONE STORY approximate 6" depth. Repeat one time per month until the rainy season. AND CBC SECTION 710.5. NUMBER OF UNITS: 1 FIRE SPRINKLERS ARE NOT REQUIRED FOR AN ADU WHEN THE EXISTING RESIDENCE ON THE SPRINKLERS REQ'D: NO PROPERTY IS NOT SPRINKLERED. AN NEPA 13D AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED IN red by: SIDENCE/GARAGE, UNDER SEPARATE FIRE SPRINKLER SUBMITTAL AND PERMIT FLOOD ZONE DESIGNATION: ZONE X OBTAINED FROM FIRE PREVENTION AT CITY HALL, 501 POLL STREET, RM 117, PH 805-654-7869. Spiewak CLIMATE ZONE: ZONE 6 4. CODE REFERENCE: 2019 CRC (CBC 2019 ED). oiewak SEISMIC DESIGN CATEGORY: E tered Consulting Arborist #381 asca FIRE SEVERITY AREA: HIGH FIRE HAZARD AREA: FOOTHILL ZO can Society of Consulting Arborists ied Tree and Plant Appraiser Certified Master Arborist #310B CITY OF SANTA BARBARA FAR CALCULATIONS **BUILDING & LOT DATA** can Society of Consulting Arborists ied Tree Risk Assessor LOT AREA: 13,939 SF (0.32 acre) PARCEL SLOPE AV ENTER Project Address: 952 A.P.S. 3517 San Jose Lane • Santa Barbara, CA 93105 • (805) 331-4075 • bill@sbarborist.com • www.sbarborist.com Is there a basement or cellar existing or PROPOSED GRADING: (REFER TO CIVIL GRADING/DRAINAGE SHEETS) No proposed? ENTER Proposed TOTAL Net FAR Floor Area (in 2,531 EXISTING & PROPOSED STRUCTURES ON SITE: sq. ft.): (E) A/C PAVING (STREET) OBLE LANE 1-STORY EXISTING SINGLE FAMILY DWELLING: **ENTER** Zone ONLY from drop-down list: E-1 or RS-15 1-STORY EXISTING ATTACHED 1-CAR GARAGE: (E) CONC. STREET GUTTER PROPOSED ACCESSORY DWELLING UNIT: 1-STORY (less than 13,939 ENTER Net Lot Area (in sq. ft.): (N) CONC. EDGE-A/C PAVIN DRIVEWAY ree protection fence FLOOR AREA CALCULATIONS: Is the height of existing or proposed buildings 17 No VERS (HATCHED AREA) feet or greater? (E) SEWER MH-EXISTING FLOOR AREAS: NET G (E) A/C PAVING DRIVEWAY Are existing or proposed buildings two stories or E) FENCE TO BE REMOVED PROPERTY UNE No REMOVE (E) areater PAVED ACCESS (E) 1-STORY PRIMARY RESIDENCE: 1,389 sf 1 **GUIDELINE**** (E) STORAGE SHED: 35 sf The FAR Requirements are: (E) ATTACHED 1-CAR GARAGE: 338 sf* 1,762 sf TOTAL EXISTING FLOOR AREA: ENTER Average Slope of Lot: 42.00% REMOVE (E) PEPPER TREE INULI S'HTPETW OFF-STREET PARKING Does the height of existing or proposed buildings PROPOSED FLOOR AREAS: No exceed 25 feet? PROPOSED DETACHED ADU: 769 sf H 1005 Is the site in the Hillside Design District? Yes DN Does the project include 500 or more cu. yds. of TOTAL PROPOSED FLOOR AREA ON SITE: 2,531 sf 2, Yes NEW 42" WD FENCE grading outside the main building footprint? (EXISTING + PROPOSED) An FAR MOD is not required per SBMC §28.15 or §30.20.030 TOTAL PROPOSED ATTACHED & DETACHED COVERED PARKING + DETA BUILDINGS = 1,142 sf [338 (garage) + 769 (ADU) + 35 (shed)] FLOOR AREA RATIO (FAR): 0.182 IS LESS THAN THE ALLOWED 1,750 sf. Lot Size Range: 10,000 - 14,999 sq. ft. MAX FAR Calculation (in sq. ft.): 2,500 + (0.125 x lot size in sq. ft.) 100% MAX FAR: 0.304 100% MAX FAR (in sq. ft.): 4,242 STRUCTURAL ENGI STUDIO ENGINEER CONTACT: JOSEP ARCHITECT: 3,606 85% of MAX FAR (in sq. ft.): LOSTEN ARCHITECTURE & PLANNING CONTACT: ELLEN BILDSTEN 80% of MAX FAR (in sq. ft.): 3,394 30 W FIGUEROA STREET 108 De La Vina SANTA BARBARA, CA 93101 Santa Barbara, C The 2531 square foot proposed total is 60% of the MAX FAR.* ellen@sb-designgroup.com P: 805 | 962-2780 805.845.2646 office NOTE: Percentage total is rounded up. GAIL L. FISHER



**NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR mitations are "Required" or "Guideline".

Acreage Conversion Calculator **ENTER** Acreage to Convert to square footage: 0.32 Net Lot Area (in sq. ft.): 13939.2

909-578-8043 GENERAL CONTRACTOR: INNOVATIVE DESIGN & CONST.,INC. EDMUNDO ELENES - GC Lic.#737507 P. 805-765-1432 F. 805-233-6504

952 ALAMEDA PADRE SERRA

aail.l.fisher@gmail.com

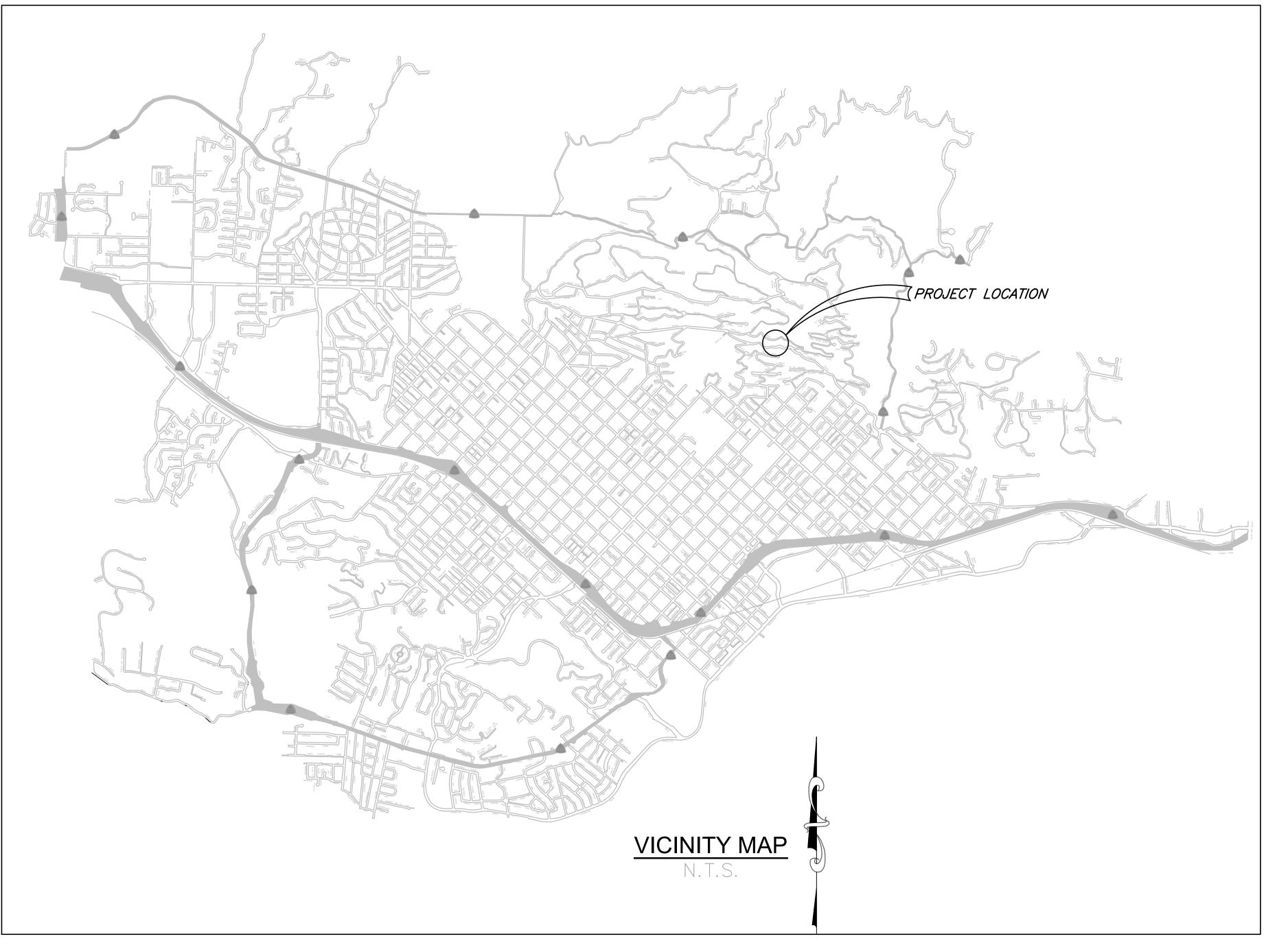
SANTA BARBARA, CA 93103

F:805 | 962-2768 jtasca@studioeng LICENSED SURVEY WATERS CARDEN CONTACT: BARRY 5553 HOLLISTER A GOLETA, CA 931

(805) 9674416

	PROJECT DESCRIPTION / SCOPE	MEMO/REVISION: DATE:
ION	THE 796 SF (NET), 2 BEDROOM ACCESSORY DWELLING UNIT (ADU) IS PROPOSED PURSUANT TO SANTA BARBARA MUNICIPAL CODE SECTION 30.185.040.	PLANNING SHO 2nd SUBMITTAL 04/25/2023 PLANNING SHO 3rd SUBMITTAL 06/08/2023
	THE PROPERTY OWNER IS REQUESTING A MODIFICATION FOR A SINGLE PARKING SPACE AND THE REQUIRED STAIRS AND LANDING(S) TO GAIN ACCESS TO THE PROPOSED ADU (UNDER BLD2022-01725) WITHIN THE FRONT YARD SETBACK FROM ROBLE LANE FOR THE PROPERTY AT 952 ALAMEDA PADRE SERRA. IN ADDITION, A MINIMUM ABOVE GRADE LANDING AND STEPS CONFORMING WITH CODE SECTION 30.140.090.C.6 IS REQUESTED FOR ACCESS TO THE ROOF DECK (OF THE ADU). THE PROPERTY HAS STREET ACCESS ALONG	PLANNING SHO 4th SUBMITTAL 08/14/2023
Loma Mesu	BOTH FRONTAGES, AND THEREFORE, TWO FRONT YARD SETBACKS. WORKING WITH NUMEROUS DEPARTMENTS, THE CITY AGREED THAT SUCH A MODIFICATION WOULD BE REPRESENTATIVE OF CURRENT CONDITIONS AND NOT OUT OF CHARACTER WITH THE NEIGHBORHOOD. THE PARKING SPACE IS REQUIRED FOR THE PROPOSED ACCESSORY DWELLING UNIT DUE TO THE HIGH FIRE SITE LOCATION. SOME WORK WILL BE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY.	805 845 2646
La Casa Romantica organities of the serve o	SHEET INDEXG1.1COVER SHEET / PROJECT INFOC-1GRADING & DRAINAGE TITLE SHEETC-2GRADING & DRAINAGE PLANC-3EROSION CONTROL PLANC-4DRAINAGE DETAILSA0.1EXISTING SITE SURVEYA0.2PHOTOS: AERIAL LOCATION EXTERIORA0.3PHOTOS: SITE AND AREAA1.1FULL SITE PLAN (SURVEY OVERLAY)A1.2SITE PLAN (PROJECT SCOPE)A101FLOOR PLANSA201EXTERIOR ELEVATIONS	BILDSTEN BILDSTEN BRCHITECTURE ARCHITECTURE ARCHITECTURE ARCHITECTURE MOL FOR CONSTRUCTION MOL FOR CONSTRUCTION
A BARBARA , CA 93103 O FT (ADU INTERIOR: 4 FT) ROPOSED XX FT IIGH FIRE)	ADDITIONAL PARKING DATA	R ADU: FRONT YARD MODIFICATION MEDA PADRE SERRA BARBARA, CA 93103
ONE /ERAGE: 42%	PRIMARY RESIDENCE PARKING: EXISTING: 1 COVERED / 0 UNCOVERED PROPOSED: 1 COVERED / 0 UNCOVERED REQUIRED: 2 COVERED / NONCONFORMING - NO CHANGE ACCESORY DWELLING UNIT PARKING:	FISHER 952 ALAI SANTA B
	EXISTING: N/A PROPOSED: 0 COVERED / 1 UNCOVERED REQUIRED: 1 SPACE FOR ADU IN THE HIGH FIRE HAZARD AREA (SBMC 30.185.040)	APN: 019-252-015 THIS PROJECT RECORD DOCUMENT, DRAWINGS, AND/OR SPECIFICATIONS, HAVE BEEN PREPARED ON THE BASIS OF DATA
n 16' height)	SITE GRADING & EARTHWORK QUANTITIES	COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND ELEN BILDSTEN (ARCHITECT) SHALL NOT BE RESPONSIBLE FOR ERRORS AND OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT. THESE DRAWINGS AND SPECIFICATIONS AND THE INCORPORATED IDEAS AND DESIGNS CONSTITUTE AN INSTRUMENT OF SERVICE
	REFER TO SHEET C-2 (GRADING AND DRAINAGE) FOR ADDITIONAL INFORMATION:	AND ARE THE SOLE PROPERTY OF BILDSTEN ARCHITECTURE & PLANNING. THESE DOCUMENTS IN WHOLE OR IN PART SHALL NOT BE USED ON EXTENSIONS OF THE PROJECT, OR FOR OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND APPROPRIATE COMPENSATION TO BILDSTEN ARCHITECTURE &
,491 sf	CUT: 45 CY FILL: 40 CY	PLANNING.
38 sf <u>361 sf</u> , 890 sf	PERVIOUS & IMPERVIOUS AREAS	Star BILDSTER
	REFER TO SHEET A1.1 FOR ADDITIONAL INFORMATION: EXISTING PERVIOUS AREA: 1,305 sf	UC. +C 20092
845 sf ,735 sf << TOTALS	PROPOSED NEW PERVIOUS AREA:330 sfTOTAL (E) + (N) PERVIOUS AREA:1,635 sfEXISTING IMPERVIOUS AREA:3,988 sfPROPOSED NEW IMPERVIOUS AREA:1,215 sf	THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING
TACHED ACCESSORY	TOTAL (E) + (N) IMPERVIOUS AREA:5,203 sfPROPOSED (N) IMPERVIOUS AREA:1,216* sfPROPOSED (N) IMPERVIOUS REDEVELOPED AREA:0PROPOSED REMOVED IMPERVIOUS AREA:0	AND CORRELATING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR THE SAFETY PRECAUSTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT. © BILDSTEN ARCHITECTURE and PLANNING DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND
	*(TIER 2 = LESS THAN 2,000 sf OF NEW/REDEVELOPED IMPERVIOUS AREA)	CONDITIONS IN THE FIELD AND IMMEDIATELY REPORT ANY DISCREPANCIES OR VARIATIONS TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
	MECHANICAL & PLUMBING ENGINEER: ELECTRICAL CONSULTANT:	SCALE: AS NOTED PRINT DATE: 11/29/23
INER: RS, INC. PH A. TASCA, P.E. CA 93101 gineersinc.com 'OR: AS LAND SERVEYING, INC.	MECHANICAL & PLOMBING ENGINEER:ELECTRICAL CONSULTANT:MOON ENGINEERING, INC.JMPE ELECTRICAL ENGINEERINGCONTACT: TIM MOONCONTACT: JOHN MALONEY1304 E. MAIN ST., STE F627 OLIVE STREET, SB CA 93101VENTURA, CA 93001Lic# E13083tim@moonengineering.commaloney@jmpe.netP. 805.653.5215805.569.9216ENERGY CONSULTANT - TITLE 24:GEOTECHNICAL / SOILS ENGINEER:DCB+BC, Inc.HEATHCOTE GEOTECHNICALCONTACT: David ChaconCONTACT: FRED HEATHCOTE, PE	SHEET: COVER SHEET / PROJECT INFO
Y WATERS VE. STE 7-8 17	6285 E. Spring Street, 502 1884 EASTMAN AVE. STE 105 Long Beach, CA 90808 VENTURA, CA 93003 P. 562.912.4884 805.644.9978	SHEET #LayNoInSubset of 38
	F. 562.349.0235	G1.1

CITY OF SANTA BARBARA FISHER RESIDENCE ADU



SYMBOL LEGEND

81.
Know what's below.

Call before you dig.

—— W ——	EXISTING WATER MAIN	— CTV —	EXISTING	CABLE TV
— G —	EXISTING GAS MAIN		EXISTING	EDGE OF
— S —	EXISTING SEWER MAIN		EXISTING	FLOWLINE
— E —	EXISTING SCE MAIN	(Fh	EXISTING	FIRE HYDF
— T —	EXISTING TELEPHONE MAIN	Owv	EXISTING	WATER VA
—sd—	EXISTING STORM DRAIN MAIN	Ogv	EXISTING	GAS VALV
— O —	EXISTING FENCE	• GM	EXISTING	GAS METE
—R/W—	RIGHT OF WAY LINE			

PROJECT NO. XXXX, BID NO. XXXX

	1	SHEET INDEX	Κ	AR AR JLM city engineer
SHEET #	SHEET DESIGNATOR	TITLE	DESCRIPTION	Z Z Z Z
1		TITLE SHEET	TITLE SHEET	DESIGN DRAWN CHECKEI
2		GRADING PLAN		
3		EROSION CONTROL PLAN DRAINAGE DETAILS		 APPROVED
5		DIVAINAGE DETAILS		
6				 DATE
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SBREVIA LK ISION NCRETE	ATION LEO MH NTS R/W S SD T TC TMH P	ROAD PASEO FERRELO DE LOS PUEBLOS ROAD PASEO FERRELO LOS PUEBLOS ROAD TELEPHONE TOP OF CURB TELEPHONE MANHOLE PAVEMENT	SUERRA ROAD DN MAP MORESON	BRAINAGE AND FISHER RESI

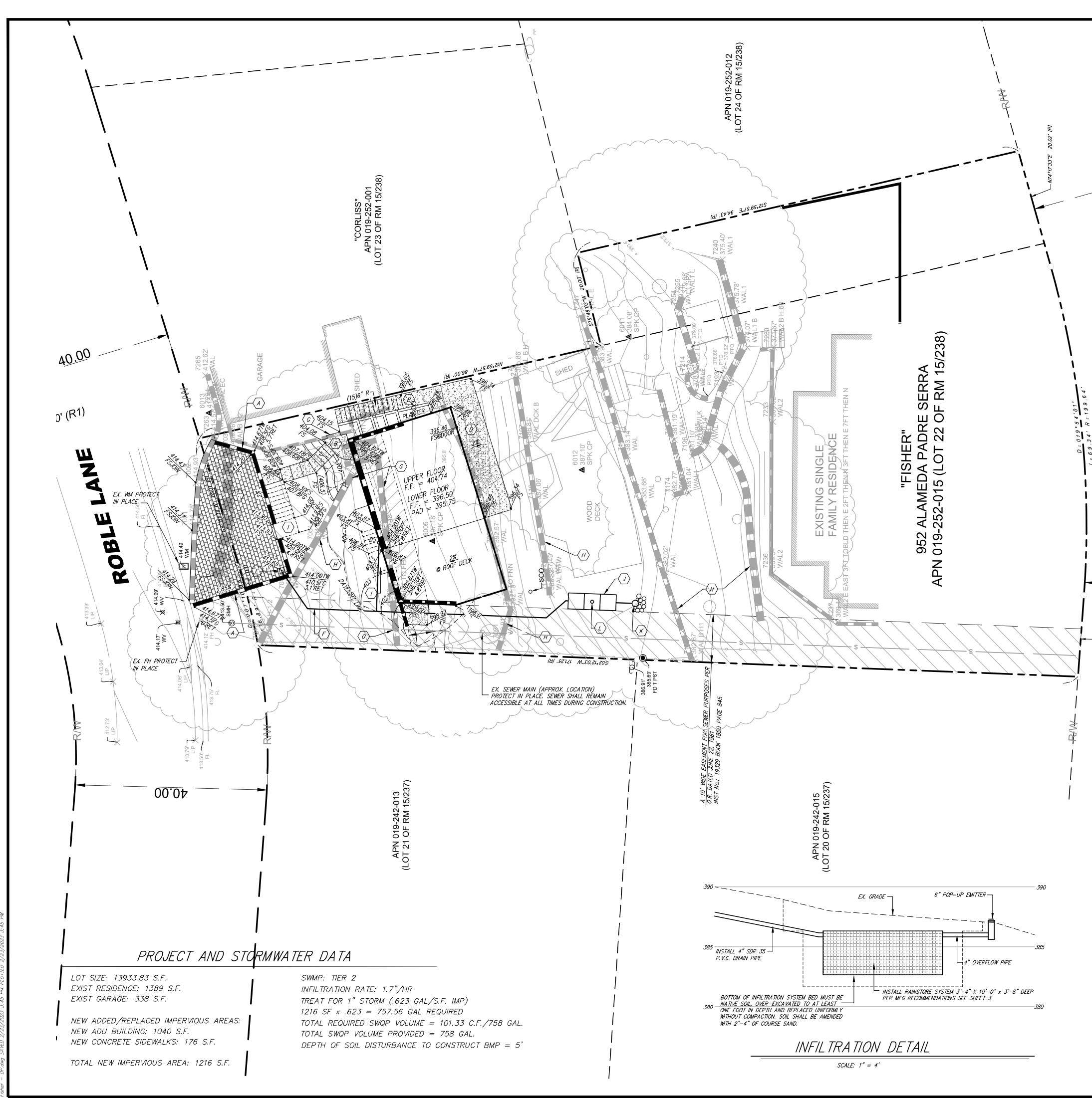
G CABLE TV	• WM	EXISTING WATER METER
G EDGE OF PAVEMENT	Отмн	EXISTING TELEPHONE MANHOLE
G FLOWLINE	ΠE	EXISTING ELECTRIC PULL BOX
G FIRE HYDRANT		EXISTING POWER POLE
G WATER VALVE		EXISTING STREET SIGN
GAS VALVE	*	EXISTING STREET LIGHT
GAS METER	\bigcirc	EXISTING CITY MONUMENT
	\bigcirc	EXISTING IP SURVEY MARKER

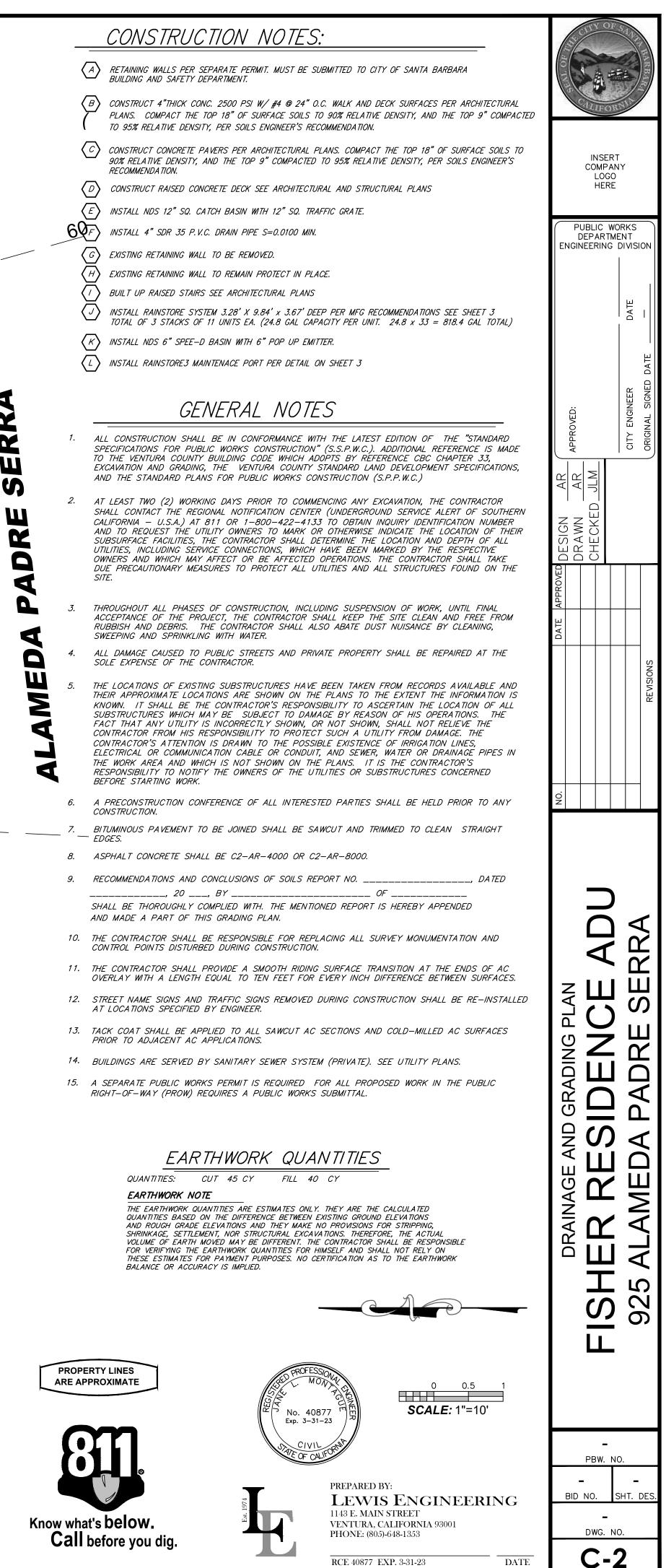
BM	BENCHMARK
BOW	BACK OF WALK
CTV	CABLE TELEVISION
E	ELECTRICAL
ECONC	EDGE OF CONCRE
FH	FIRE HYDRANT
FL	FLOW LINE
FOW	FRONT OF WALK
G	GAS
-	- · · -

					APPROVED:	CITY ENGINEER
	SHEET IND				AR AR JLM	
EET			SCRIPTION	—		
NATOR					DESIGN DRAWN CHECKE	
	TITLE SHEET GRADING PLAN		LE SHEET		DESIGN DRAWN CHECKI	
	EROSION CONTROL PLAN					
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S [´] SD	SEWER STORM DRAIN					+
T TC TMH P W	TELEPHONE TOP OF CURB TELEPHONE MANHOLE PAVEMENT WATER	Eit. 1974	PREPARED BY: LEWIS ENGINE 1143 E. MAIN STREET	ERING	BID NO.	NO. – SHT. DES.
			VENTURA, CALIFORNIA 93001 PHONE: (805)-648-1353		DWG.	
			RCE 40877 EXP. 3-31-23	DATE		

INSERT COMPANY LOGO HERE

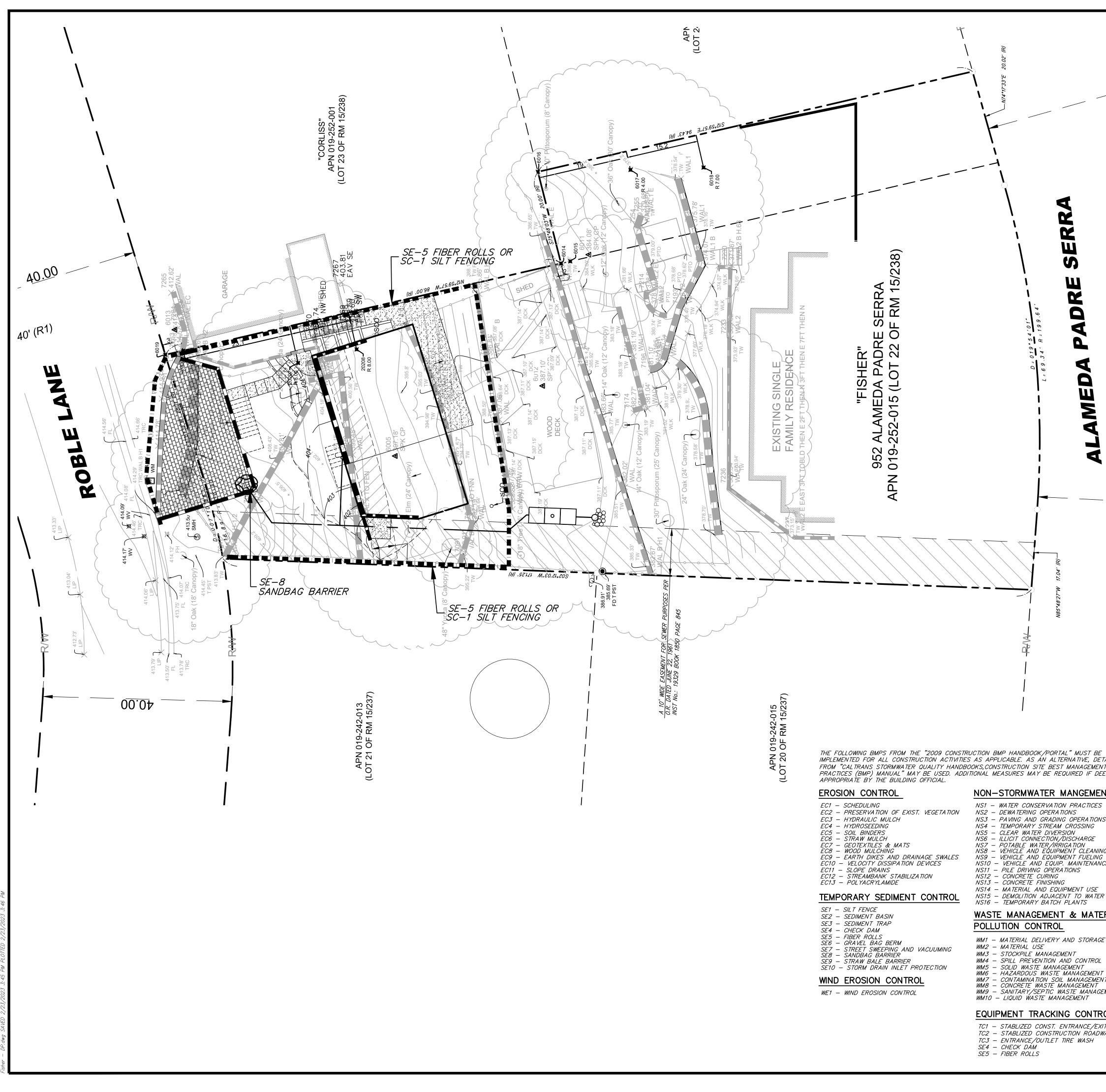
PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION





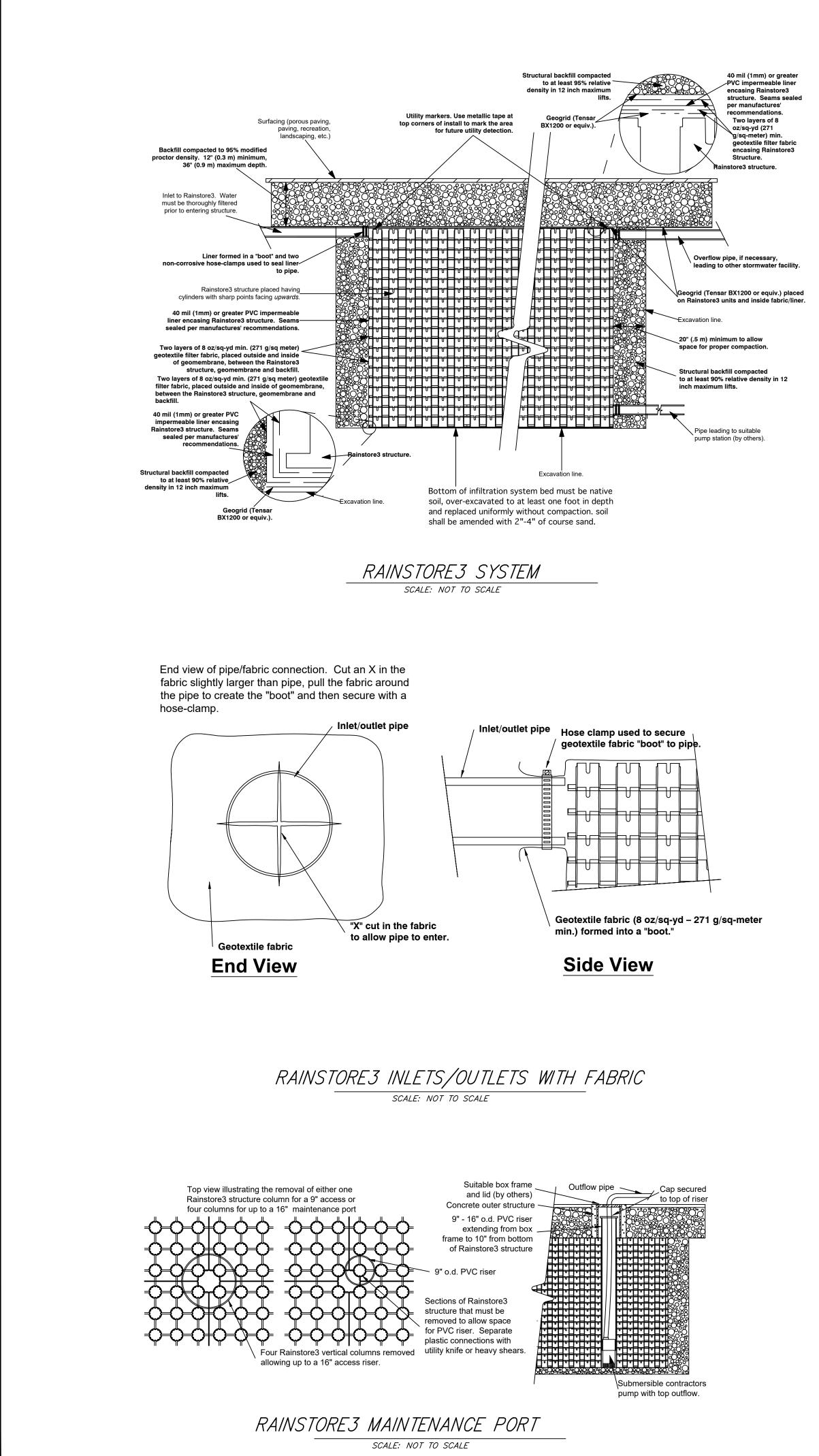
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DATE



	E1 1.	ROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES:	
<u> </u>	<i>2</i> .	TOTAL DISTURBED AREAWDID # i. RISK LEVEL 1 2 3 (CIRCLE ONE AS DETERMINED BY STATE GENERAL PERMIT FOR SITES GREATER THAN 1 ACRE)	FORTH
60,	3.	, A STAND—BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON—SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY	INSERT COMPANY LOGO HERE
	4.	DEVICES WHEN RAIN IS IMMINENT. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE	PUBLIC WORKS
	5.	NO LONGER REQUIRED. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF—SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.	DEPARTMENT ENGINEERING DIVISION
	6.	ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.	DATE
	7.	A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.	DATE
	8.	THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.	DVED: ENGINEER
	9.	DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.	APPROVED CITY ENGI ORIGINAL
	1 <i>0</i> .	STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.	D JLM
	11.	EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.	DESIGN DRAWN CHECKE
	1 <i>2</i> .	ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.	OVED
	1 <i>3</i> .	STOCKPILES OF EARTH AND OTHER CONSTRUCTION—RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.	АРРК
l	14.	FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.	DATE
	<i>15</i> .	EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON—SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.	REV
	16.	DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPS ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).	Öz
	1 <i>7</i> .	TRASH AND CONSTRUCTION—RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.	
	<i>18</i> .	SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.	
	<i>19</i> .	ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.	
	20.	AS THE ENGINEER/QSD OF RECORD, I HAVE SELECTED APPROPRIATE BMPS TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROBECONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPS MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS.	
		CIVIL ENGINEER/QSD SIGNATURE DATE	S O N
- TAILS VT EEMED	21.	THE FOLLOWING NOTES MUST BE ON THE PLAN: AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNERENTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ENSURE THAT A QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/ OR INACCURATE INFORMATION, FAILING TO UPDATE THE ESCP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE ESCP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY?LAW.	N CONTROL PLA
<u>NT</u>	22.	OWNER OR AUTHORIZED REPRESENTATIVE (PERMITTEE) DATE DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES	MEC
VG		AND BMPS ARE INSTALLED AND FUNCTIONING PROPERLY AS REQUIRED BY THE STATE CONSTRUCTION GENERAL PERMIT. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.	
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RIAL			FIS 92
Ē		No. 40877 THE Exp. 3-31-23	
T NT EMENT		STATE OF CALIFORNIA	– PBW. NO.
ROL 77 WA Y		PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805)-648-1353	BID NO. SHT. DES.
		RCE 40877 EXP. 3-31-23 DATE	C-3

Σ



PROJECT AND STORMWATER DATA

LOT SIZE: 13933.83 S.F. EXIST RESIDENCE: 1389 S.F. EXIST GARAGE: 338 S.F.

NEW ADDED/REPLACED IMPERVIOUS AREAS: NEW ADU BUILDING: 1040 S.F. NEW CONCRETE SIDEWALKS: 176 S.F.

TOTAL NEW IMPERVIOUS AREA: 1216 S.F.

SWMP: TIER 2

ARCHAELOGICAL NOTE

AUTHORIZATION.

PRIOR TO THE START OF ANY VEGETATION OR PAVING REMOVAL, DEMOLITION, TRENCHING OR GRADING, CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL BE ALERTED TO THE POSSIBILITY OF UNCOVERING UNANTICIPATED SUBSURFACE ARCHAEOLOGICAL FEATURES OR ARTIFACTS ASSOCIATED WITH PAST HUMAN OCCUPATION OF THE PARCEL.

IF SUCH ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED. WORK SHAL BE HALTED IMMEDIATELY, THE CITY ENVIRONMENTAL ANALYST SHALL BE NOTIFIED AND AN ARCHAEOLOGIST FROM THE MOST CURRENT CITY QUALIFIED ARCHAEOLOGISTS LIST SHALL BE RETAINED BY THE APPLICANT. THE LATTER SHALL BE EMPLOYED TO ASSESS THE NATURE, EXTENT AND SIGNIFICANCE OF ANY DISCOVERIES AND TO DEVELOP APPROPRIATE MANAGEMENT RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, REDIRECTION OF GRADING AND/OR EXCAVATION ACTIVITIES. CONSULTATION AND/OR MONITORING WITH A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST, ETC.

IF A DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE SANTA BARBARA COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. IF THE CORONER DETERMINES THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION. A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS

IF A DISCOVERY CONSISTS OF POSSIBLE PREHISTORIC OR NATIVE AMERICAN ARTIFACTS OR MATERIALS. A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

INFILTRATION RATE: 1.7"/HR TREAT FOR 1" STORM (.623 GAL/S.F. IMP) $1216 \; SF \; x \; .623 \; = \; 757.56 \; GAL \; REQUIRED$ TOTAL REQUIRED SWQP VOLUME = 101.33 C.F./758 GAL. TOTAL SWQP VOLUME PROVIDED = 758 GAL. DEPTH OF SOIL DISTURBANCE = 8'



THE PROPOSED STORM WATER BMPS, WHICH INCLUDE 595 GALLON RAINSTORE SYSTEM SHALL BE MAINTAINED AS DESCRIBED IN SANTA BARBARA MUNICIPAL CODE 22.87.030 IN ACCORDANCE WITH THEIR APPROVED SPECIFICATIONS. OWNER (NAME AND TITLE): GAIL FISHER, HOMEOWNER

SIGNA TURE

DATE









PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805)-648-1353

RCE 40877 EXP. 3-31-23

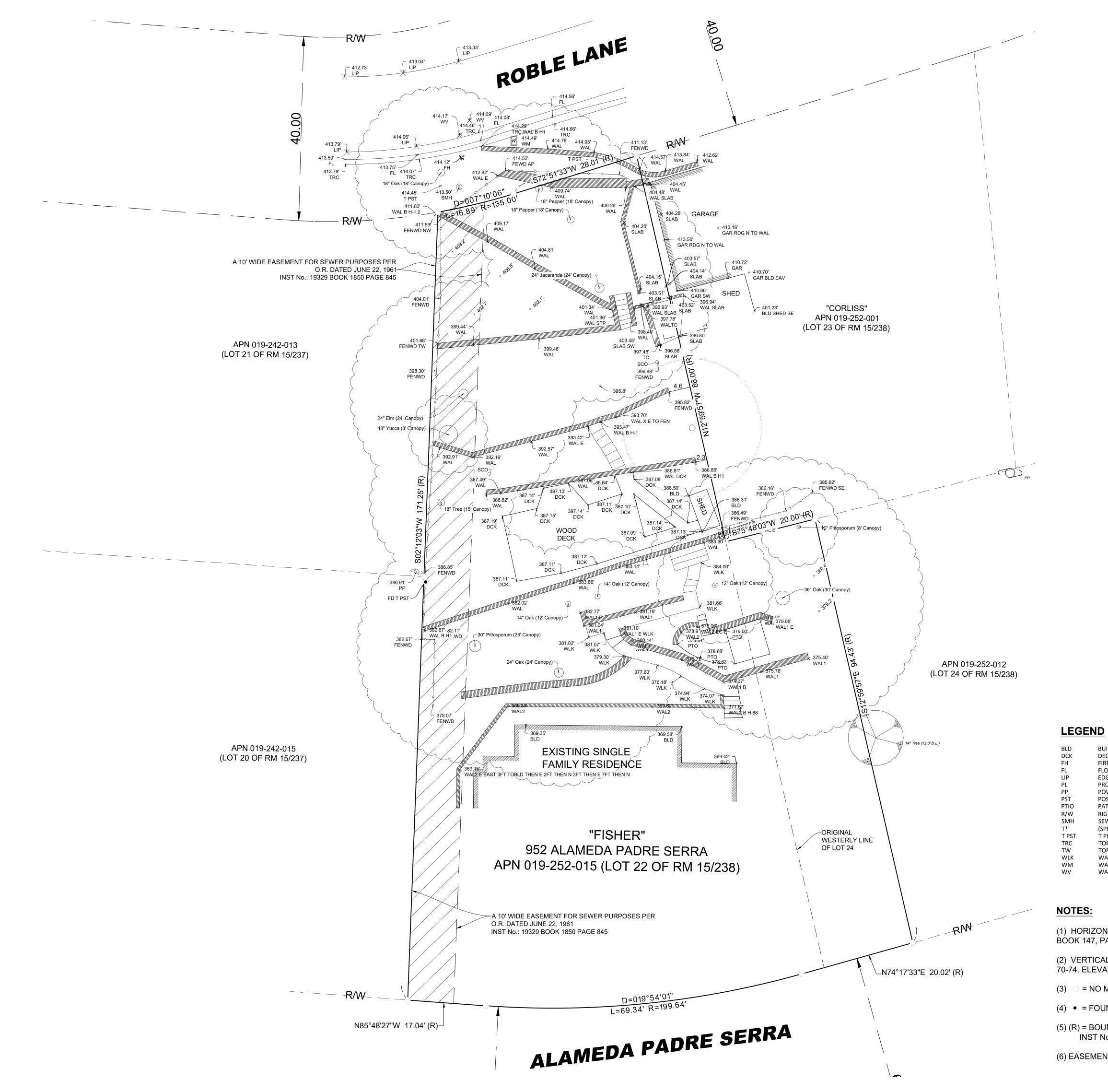
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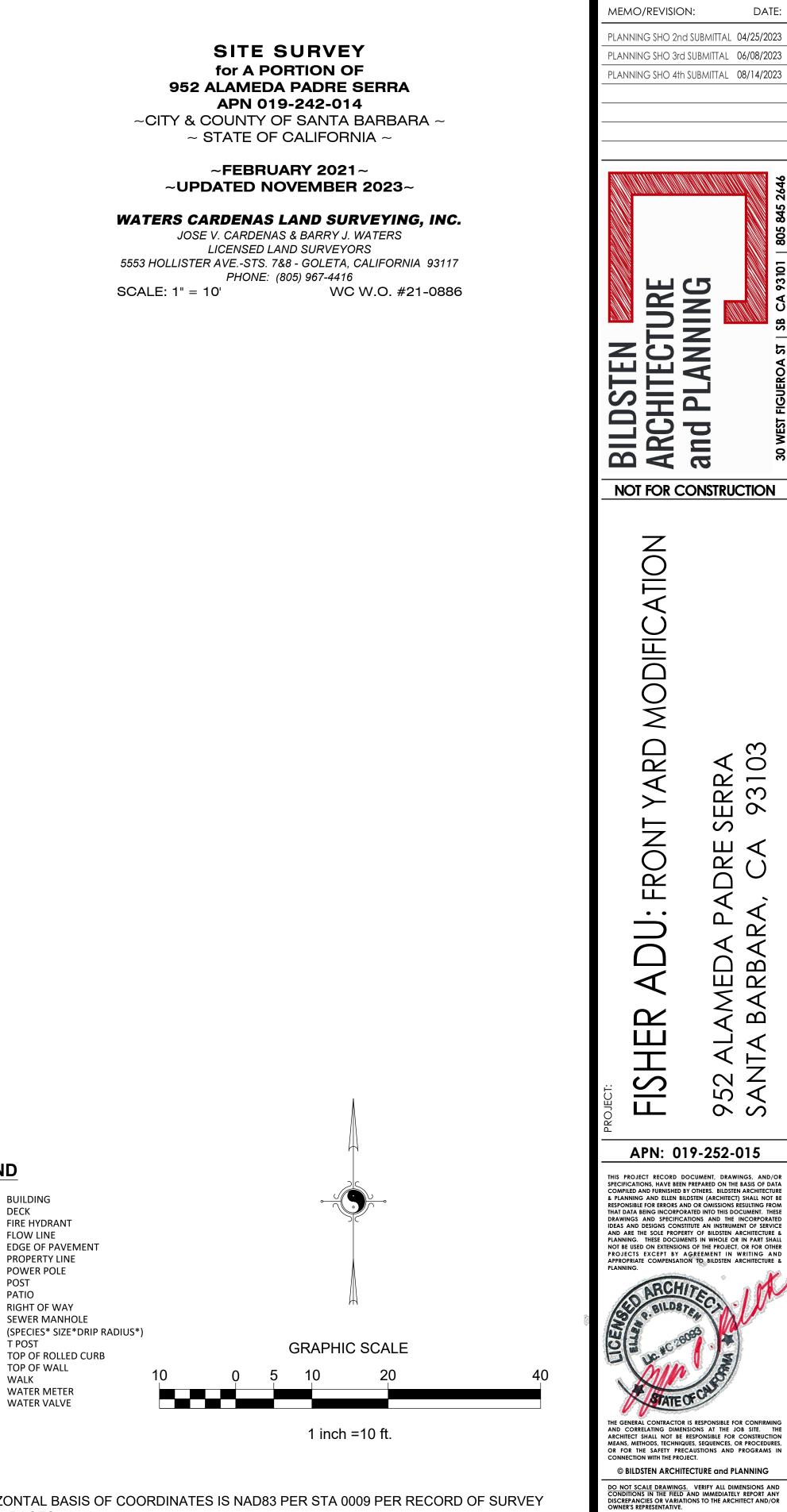
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P [ENGIN	UBLIC W DEPARTM NEERING	ORKS IENT DIVISION
		DATE
APPROVED:		CITY ENGINEER ORIGINAL SIGNED DATE
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DATE APPROVED DESIGN		
DA		REVISIONS
NO.		
DRAINAGE DETAILS	FISHER RESIDENCE	925 ALAMEDA PADRE SERRA
	PBW. N	10. –





(1) HORIZONTAL BASIS OF COORDINATES IS NAD83 PER STA 0009 PER RECORD OF SURVEY BOOK 147, PAGES 70-74.

(2) VERTICAL DATUM IS NAVD88 PER STA 0009 PER RECORD OF SURVEY BOOK 147, PAGES 70-74. ELEVATION 312.63' FEET

(3) \bigcirc = NO MONUMENT FOUND OR SET UNLESS OTHERWISE NOTED

(4) • = FOUND MONUMENT AS NOTED

(5) (R) = BOUNDARY SHOWN IS PER MAP BOOK 15 PAGES 236-238 AND INST No.: 2013-0035285 OF O.R.. ROTATED TO NAD83

(6) EASEMENTS SHOWN HERON ARE PER W.F.G TITLE REPORT #21-199159 DATED 12-31-2020

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SHEET #LayNoInSubset of 38

EXISTING SITE SURVEY

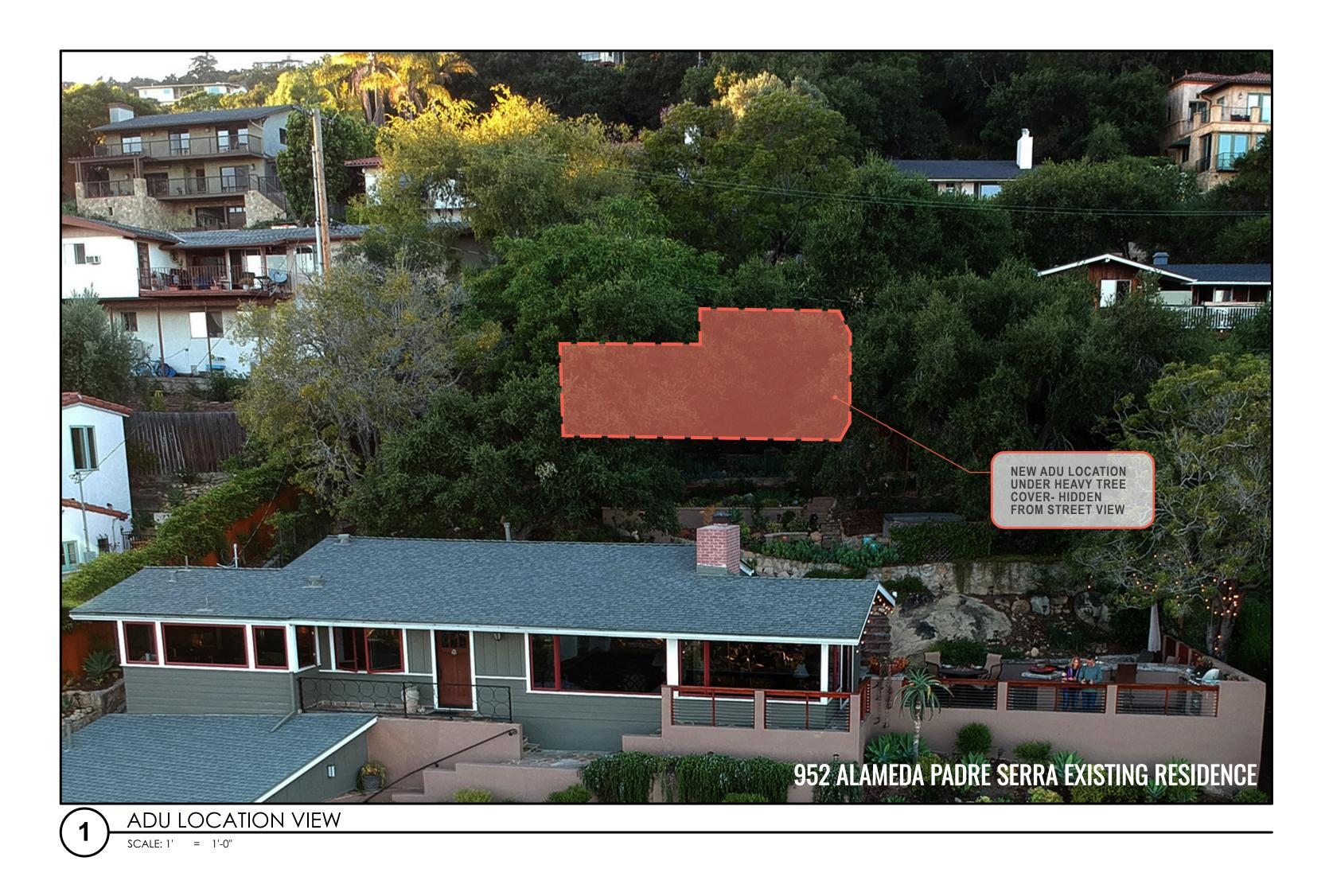
AS NOTED

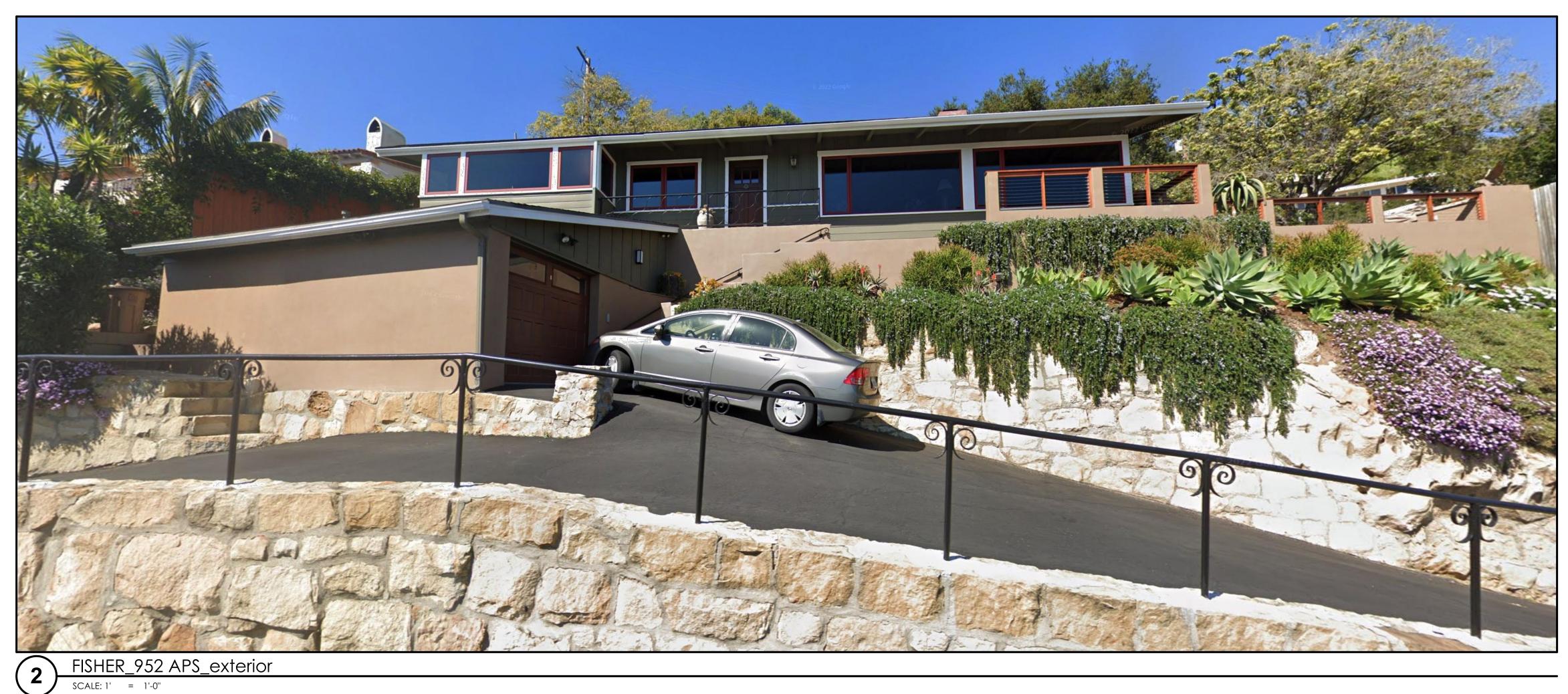
11/29/23

SCALE:

SHEET:

PRINT DATE:







MEMO/REVISION: DATE: PLANNING SHO 2nd SUBMITTAL 04/25/2023 PLANNING SHO 3rd SUBMITTAL 06/08/2023 PLANNING SHO 4th SUBMITTAL 08/14/2023 BILDSTEN BILDSTEN ARCHITECTURE and PLANNING NOT FOR CONSTRUCTION FRONT YARD MODIFICATION SERRA 93103 ADRE , CA • • RA Δ \supset \triangleleft ∩ ∀ \Box A R R \triangleleft \sim В 1 FISHEI \triangleleft 52 A ANT/ 6 S APN: 019-252-015 THIS PROJECT RECORD DOCUMENT, DRAWINGS, AND/OR SPECIFICATIONS, HAVE BEEN PREPARED ON THE BASIS OF DATA COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND ELLEN BILDSTEN (ARCHITECT) SHALL NOT BE RESPONSIBLE FOR ERRORS AND OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT. THESE DRAWINGS AND SPECIFICATIONS AND THE INCORPORATED IDEAS AND DESIGNS CONSTITUTE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF BILDSTEN ARCHITECTURE & PLANNING. THESE DOCUMENTS IN WHOLE OR IN PART SHALL NOT BE USED ON EXTENSIONS OF THE PROJECT, OR FOR OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND APPRORIATE COMPENSATION TO BILDSTEN ARCHITECTURE & PLANNING. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR THE SAFETY PRECAUSTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT. © BILDSTEN ARCHITECTURE and PLANNING DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND IMMEDIATELY REPORT ANY DISCREPANCIES OR VARIATIONS TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. AS NOTED SCALE: PRINT DATE: 11/29/23 SHEET: PHOTOS: AERIAL | LOCATION | EXTERIOR SHEET #LayNoInSubset of 38 A0.2



AERIAL - MAIN RESIDENCE



SOUTHWEST FACADE - MAIN RESIDENCE



MAIN RESIDENCE FROM ADU LOCATION



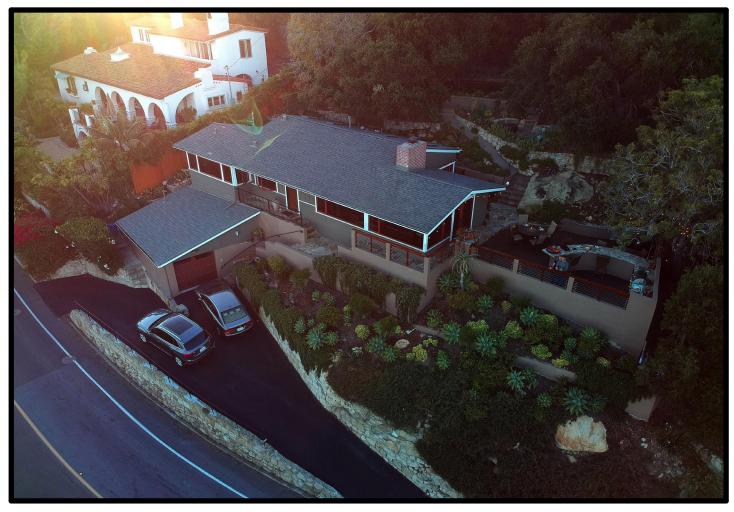
PROPERTY FROM ROBLE LANE











AERIAL - MAIN RESIDENCE



WEST FACADE - MAIN RESIDENCE



EAST NEIGHBOR FROM ADU LOCATION



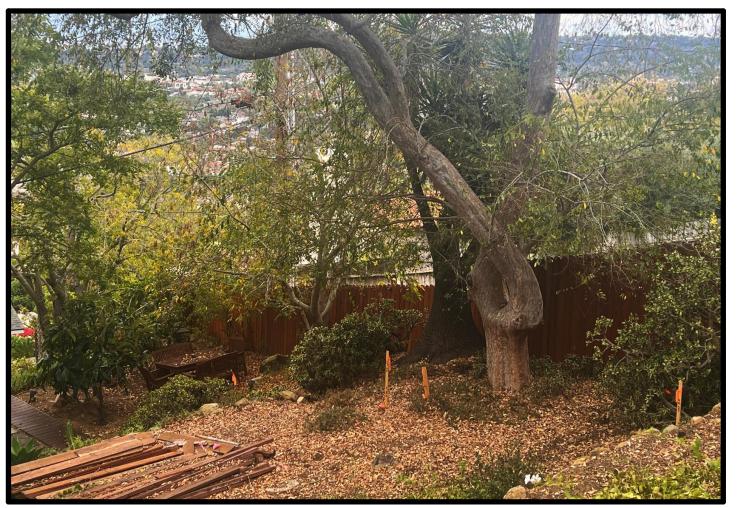
EAST NEIGHBOR ON ROBLE LANE



EAST FACADE - MAIN RESIDENCE



NORTH FACADE - MAIN RESIDENCE



WEST NEIGHBOR FROM ADU LOCATION



WEST NEIGHBOR ON ROBLE LANE

	546
	805 845 20
NG RF	CA 93101
	ST SB (
BILDSTEN ARCHITECTURE and PLANNING	30 WEST FIGUEROA ST SB CA 93101 805 845 2646

NOT FOR CONSTRUCTION

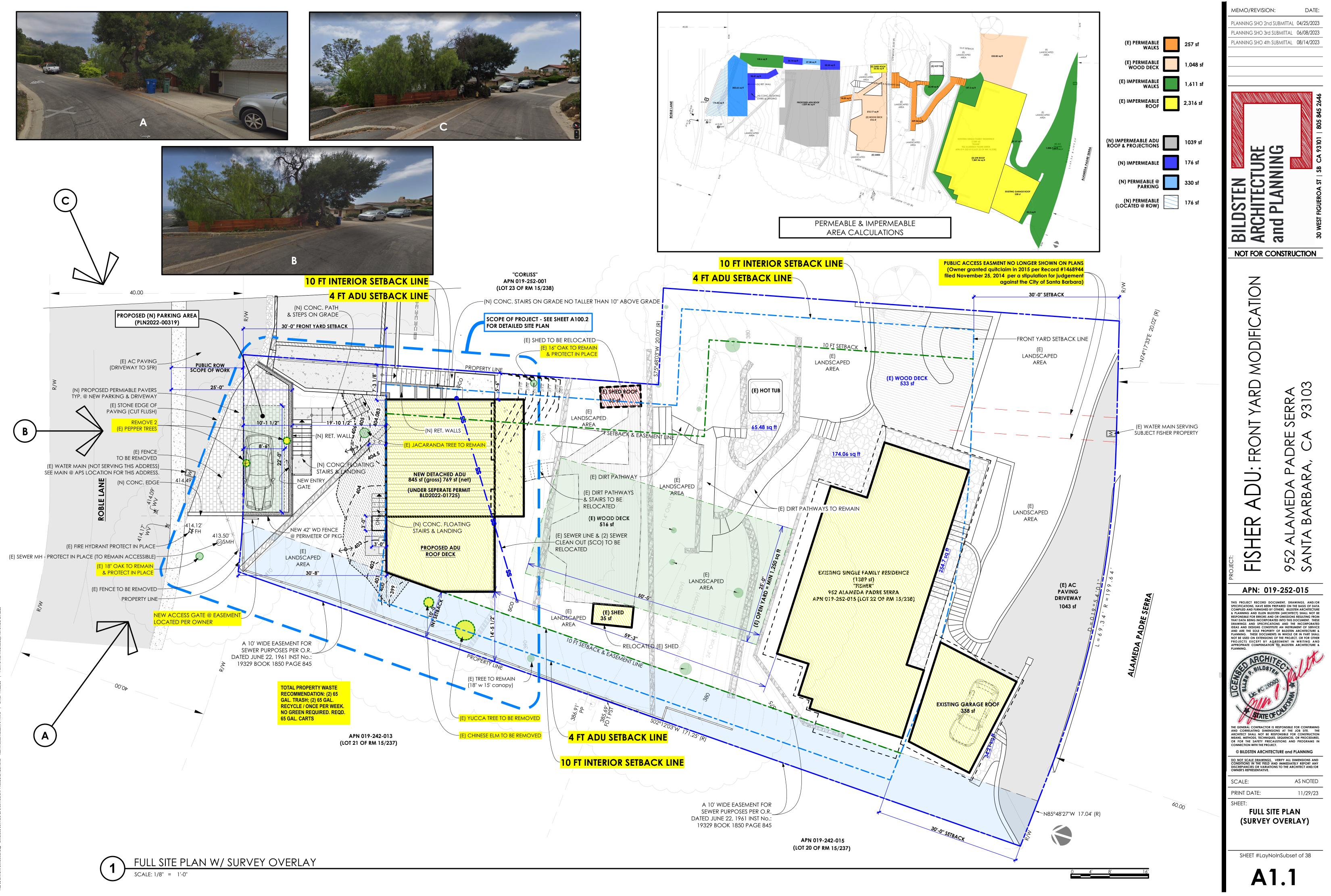




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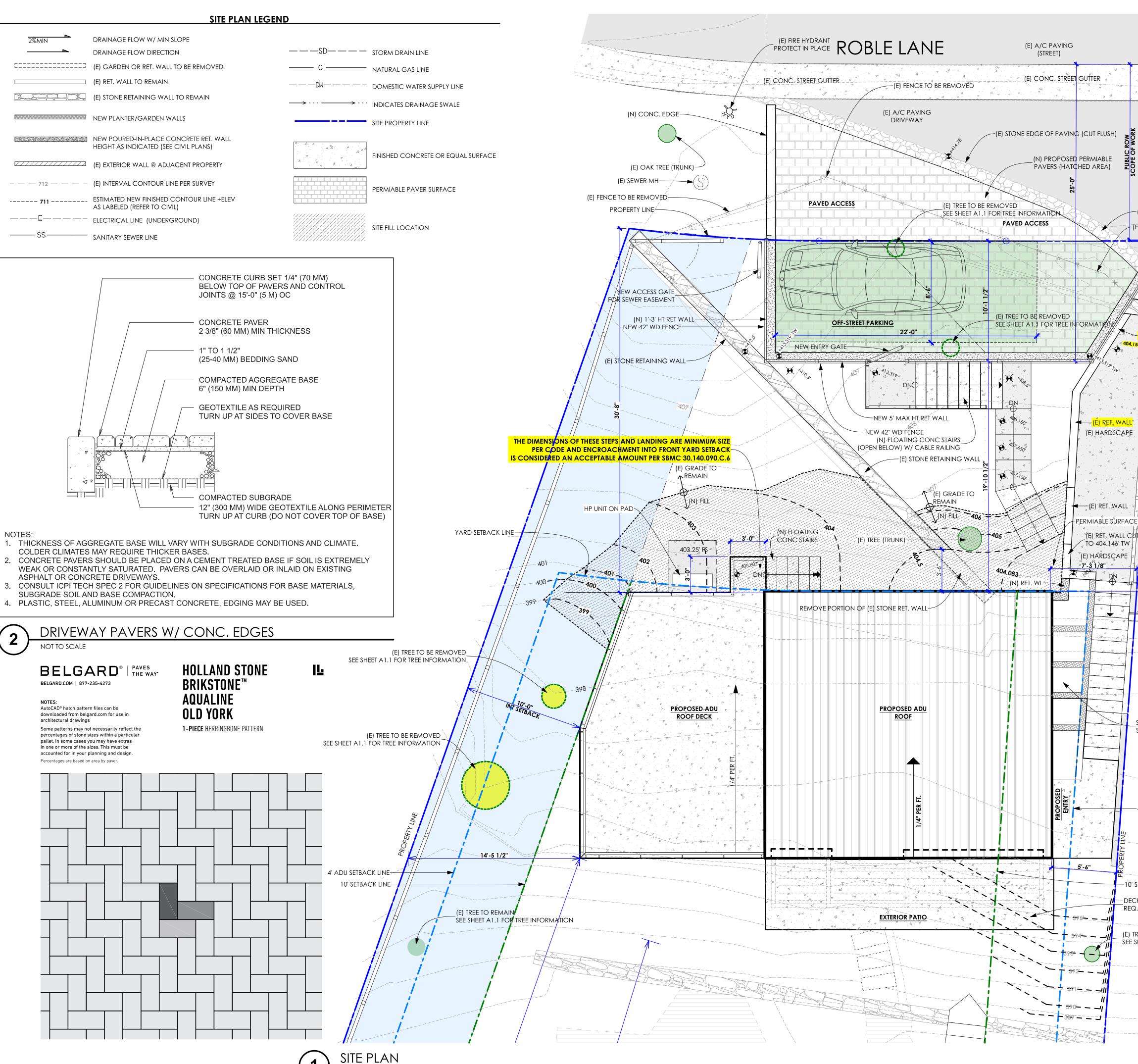
MEMO/REVISION:

PLANNING SHO 2nd SUBMITTAL04/25/2023PLANNING SHO 3rd SUBMITTAL06/08/2023PLANNING SHO 4th SUBMITTAL08/14/2023



E LOCATION: BIMcloud: bap - BIMcloud Software as a Service/BAP PROJECTS/v26/Fisher - 952 A.P.S.LOWERED_V6-FINAL | DATE: 11/28/23 | PRINT DATE: Wednesday, November 29, 2023





BELGARD [®] PAVES THE WAY* BELGARD.COM 877-235-4273 PAVES THE WAY* NOTES: AutoCAD® hatch pattern files can be downloaded from belgard.com for use in architectural drawings Some patterns may not necessarily reflect the percentages of stone sizes within a particular pallet. In some cases you may have extras in one or more of the sizes. This must be accounted for in your planning and design. Percentages are based on area by paver.	HOLLAND STONE BRIKSTONE™ AQUALINE OLD YORK 1-PIECE HERRINGBONE PATTERN	(E) TREE TO BE REMOVED SEE SHEET A1.1 FOR TREE INFORMATION
		4' ADU SETBACK LINE 10' SETBACK LINE (E) TREE TO RE SEE SHEET A1.

SCALE: 1/4" = 1'-0"

BUILDER TO CONTACT ARCHITECT:

- FOR CLARIFICATION OF DIMENSIONS. DO NOT SCALE FROM DRAWINGS.
- . TO RESOLVE PERCEIVED DIFFERENCES BETWEEN THE STRUCTURAL AND ARCHITECTURAL PLANS.
- 3. SHOULD SURFACE, SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS DIFFER MATERIALLY FROM THOSE PROVIDED IN THE ARCHITECT'S DRAWINGS.

GENERAL NOTES:

(E) A/C PAVING

DRIVEWAY

<mark>~ (F) RFT WALL</mark>

[⊲] 404.150' F s

[™] DN

STEPPED

-10' SETBACK LINE

-DECK WITHIN 10' SETBACK

SEE SHEET A 1.1 FOR TREE INFORMATION

REQ. MODIFICATION

(E) TREE TO REMAIN

SITE PLANTERS BELOW

-4' ADU SETBACK LINE

(E) STONE EDGE OF PAVING

(E) GARAGE

(ADJACENT PROPERTY)

(E) FENCE TO BE REMOVED

- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA BUILDING CODE (CBC), 2019 CALIFORNIA GREEN BUILDING CODE, 2019 MECHANICAL CODE (CMC), 2019 CALIFORNIA PLUMBING CODE (CBC), 2019 CALIFORNIA ELECTRICAL CODE (CEC) AND 2019 CALIFORNIA ENERGY CODE.
- . BUILDER SHALL OBTAIN A SEPARATE PERMIT FOR INSTALLATION OF AUTOMATIC FIRE SPRINKLERS. THE BUILDING SHALL BE COMPLETELY FIRE SPRINKLED.
- REFER TO: CIVIL GRADING & DRAINAGE PLANS FOR MORE **INFORMATION.** MECHANICAL, PLUMBING, AND ELECTRICAL PLANS ARE AN INTEGRAL PART OF THIS COMPLETE CONSTRUCTION DOCUMENT SET. REFER TO SHEET INDEX ON A-001FOR ALL REFERENCED PLANS IN SET.
- . BUILDER SHALL OBTAIN SEPARATE PERMITS FROM THE CITY FOR ADDITIONAL RETAINING WALLS AND FENCES NOT SHOWN ON THIS PLAN SET PRIOR TO INSTALLATION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE UNDER SEPARATE PERMIT ISSUED BY THE CITY, UNLESS DOCUMENTED OTHERWISE.
- BUILDER SHALL CONSTRUCT DRIVEWAY PER CITY STANDARDS, AND BUILDER SHALL RECONSTRUCT ANY DAMAGED OR DEFACED CONCRETE CURB, AND OR DRIVEWAY PER CITY STANDARDS. ENCROACHMENT PERMIT REQUIRED. NEW SIDEWALK DRAINS SHALL BE PER CITY STANDARD DETAILS. ENCROACHMENT PERMITS MAY BE REQUIRED. MAXIMUM SIZE OF PIPE OF SIDEWALK DRAIN IS 3".
- . UNDERGROUND UTILITIES ARE TO COMPLY WITH CITY STANDARDS. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING IN RIGHT-OF-WAY.
- 8. BUILDER SHALL KEEP STREETS FREE OF DEBRIS AND CONTROL DUST AT ALL TIMES.
- . ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE ADDRESS NUMBERS SHALL BE A MINIMUM OF FOUR INCHES (4") IN HEIGHT AND CONTRASTING COLOR TO THEIR BACKGROUND.
- 10. STORM WATER RUNOFF SHALL NOT DISCHARGE FROM THE CONSTRUCTION SITE TO THE CITY STREETS OR MUNICIPAL STORM DRAIN SYSTEM WITHOUT TREATMENT BY A SUITABLE POLLUTION CONTROL DEVICE. STORM WATER RUNOOF DISCHARGES WITHOUT TREATMENT IS A VIOLATION OF THE CITY'S STORMWATER ORDINANCE. DISCHARGING ANY MATERIAL OTHER THAN UNCONTAMINATED STORM WATER RUNOFF TO CITY STREETS OR TO THE MUNICIPAL STORM DRAIN SYSTEM IS PROHIBITED AND IS A VIOLATION OF THE MUNICIPAL CODE.
- 1. THE BUILDER MAY BE REQUIRED TO CONFIRM IN WRITING TO THE CITY THE FOLLOWING:
- A. THAT WOOD SPECIES AS USED IN CONSTRUCTION ARE EXACTLY AS SPECIFIED ON THE PLANS. B. THAT HOLDOWN(S) BOLTS WERE FASTENED JUST PRIOR TO
- COVERING UP THE WALL FRAMING. C.THAT CEMENT PLASTER SHEAR WALLS, PLYWOOD SHEAR
- WALLS AND ROOF/FLOOR DIAPHRAGMS HAVE BEEN NAILED TO THE FRAMING AS PER APPROVED PLANS.

12. PRIOR TO THE CONTRACTOR REQUESTING THE FOUNDATION INSPECTION, A PROPERLY LICENSED SURVEYOR OR ENGINEER SHALL ESTABLISH THE PROPERTY LINES AND LOCATION OF THE BUILDING ON THE PROPERTY SUCH THAT THE REQUIRED SETBACKS CAN BE VERIFIED BY SIMPLY TAKING MEASURMENTS FROM ALL PROPOSED BUILDING CORNERS TO THE PROPERTY LINES. THE SURVEYOR MAY BE REQUIRED TO INFORM THE CITY IN WRITING OF HIS/HER COMPLETION OF THE WORK PRIOR TO THE FOUNDATION.

- 3. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE CONTRACT DOCUMENTS, EXAMINE THE PROJECT SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK AND THE INTENT OF THE CONTRACT DOCUMENTS. THE ARCHITECT Shall be notified immediately upon discovery of any DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS. DURING BIDDING, THE CONTRACTOR SHALL OBTAIN PROPER, WRITTEN CLARIFICATION OF ANY DISCREPANCY, CONFLICT, AND/OR UNCLEAR ITEM PRIOR TO THE SUBMISSION OF BIDS. IF DISCREPANCIES ARRISE DURING CONSTRUCTION, DO NOT PROCEED WITH ANY INSTALLATION AND/OR CONSTRUCTION THAT MAY BE AFFECTED UNTIL ISSUES ARE RESOLVED.
- 14. IT IS UNDERSTOOD THAT ALL CONTRACTORS AND THEIR PERSONNEL ARE PROPERLY TRAINED AND EXPERIENCED TO CONSTRUCT AND OTHERWISE CARRY OUT THE INTENT OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- 15. THE CONTRACT DOCUMENTS CONSIST OF THE COMPLETE PLANS, SPECIFICATIONS, REPORTS, BIDDING INFORMATION AND OTHER INFORMATION PREPARED BY THE BILDSTEN ARCHITECTURE & PLANNING, ITS CONSULTANTS OR CONSULTANTS HIRED BY THE OWNER. IN THE EVENT OF DISCREPANCIES OR CONFLICTS IN THE DOCUMENTS, INFORMATION IN THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE DRAWINGS. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DO NOT SCALE THE PRINTED DRAWINGS - REFER TO DIMENSIONS PRINTED ON PLANS.
- 16. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL THE CONTRACT DOCUMENTS AS THEY RELATE TO THE CONTRACTOR'S WORK. IN ADDITION, EACH CONTRACTOR IS RESPONSIBLE TO COORDINATE THEIR OWN WORK WITH THE WORK OF OTHER TRADES.
- 17. ALL WORK IS TO CONFORM TO THE REQUIREMENTS OF THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), AND ALL APPLICABLE STATE AND LOCAL ORDINANCES.
- 18. ONLY APPROVED WORKING DRAWINGS, WITH THE STATEMENT "ISSUED FOR CONSTRUCTION" ON THE COVER SHEET, ARE TO BE USED FOR CONSTRUCTION OF THIS PROJECT. CONTRACTORS USING OTHER THAN APPROVED DRAWINGS ARE SOLELY RESPONSIBLE FOR SUCH WORK.
- 19. ALL DIMENSIONS ARE TO FACE OF STUD IN THE WALL SYSTEM, FACE OF CONCRETE (or CMU), OR CENTER LINE OF WALL UNLESS OTHERWISE NOTED.

PLANNING SHO 2nd SUBMITTAL 04/25/2023 PLANNING SHO 3rd SUBMITTAL 06/08/2023 PLANNING SHO 4th SUBMITTAL 08/14/2023

MEMO/REVISION:



NOT FOR CONSTRUCTION

ATION MODIFIC ARD 8 03 03 RR 31 > ШÓ ONT \sim Ш ⊲ \sim \bigcirc ш • • Δ \square \sim \triangleleft \Box $\dot{\Box}$ ШК 5 \triangleleft В \triangleleft 2 A N1 S נט ע ע 0 0 APN: 019-252-015 THIS PROJECT RECORD DOCUMENT, DRAWINGS, AND/OF SPECIFICATIONS, HAVE BEEN PREPARED ON THE BASIS OF DATA COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND ELLEN BILDSTEN (ARCHITECT) SHALL NOT BE ESPONSIBLE FOR ERRORS AND OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT. THESI DRAWINGS AND SPECIFICATIONS AND THE INCORPORATE DEAS AND DESIGNS CONSTITUTE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF BILDSTEN ARCHITECTURE & PLANNING. THESE DOCUMENTS IN WHOLE OR IN PART SHALL NOT BE USED ON EXTENSIONS OF THE PROJECT, OR FOR OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND APPROPRIATE COMPENSATION TO BILDSTEN ARCHITECTURE & THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMI IND CORRELATING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR THE SAFETY PRECAUSTIONS AND PROGRAMS IN NNECTION WITH THE PROJECT. © BILDSTEN ARCHITECTURE and PLANNING DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND IMMEDIATELY REPORT ANY DISCREPANCIES OR VARIATIONS TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. SCALE: AS NOTED PRINT DATE: 11/29/23 SHFFT SITE PLAN (PROJECT SCOPE) SHEET #LayNoInSubset of 38

DATE:

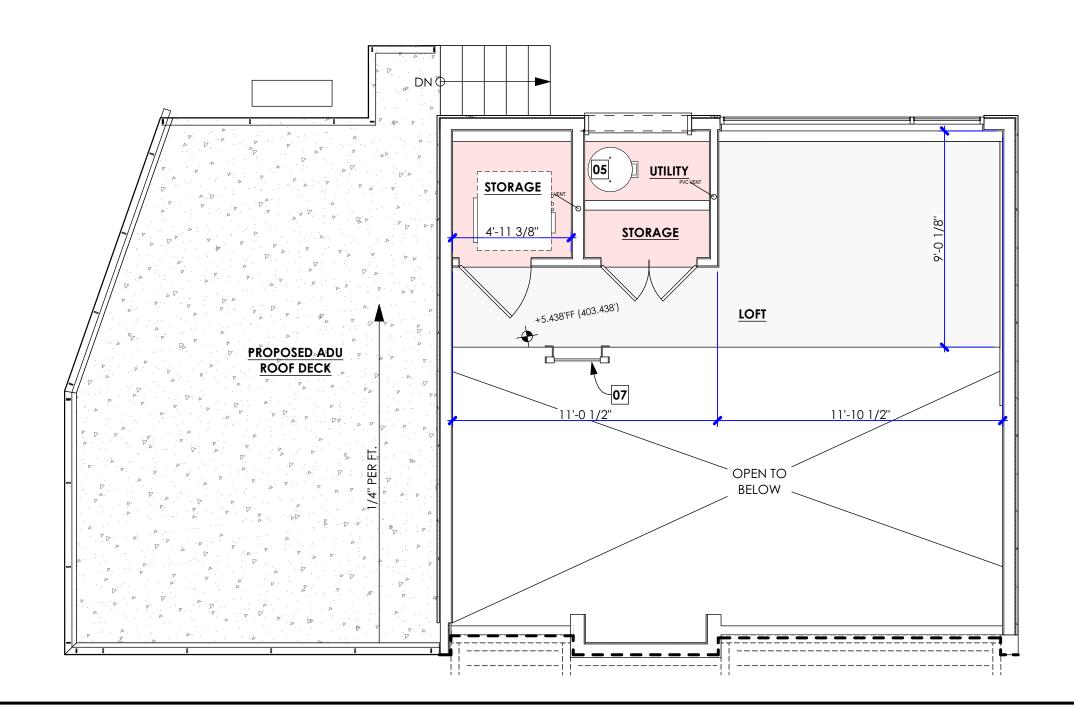
FLOOR PLAN KEY NOTES

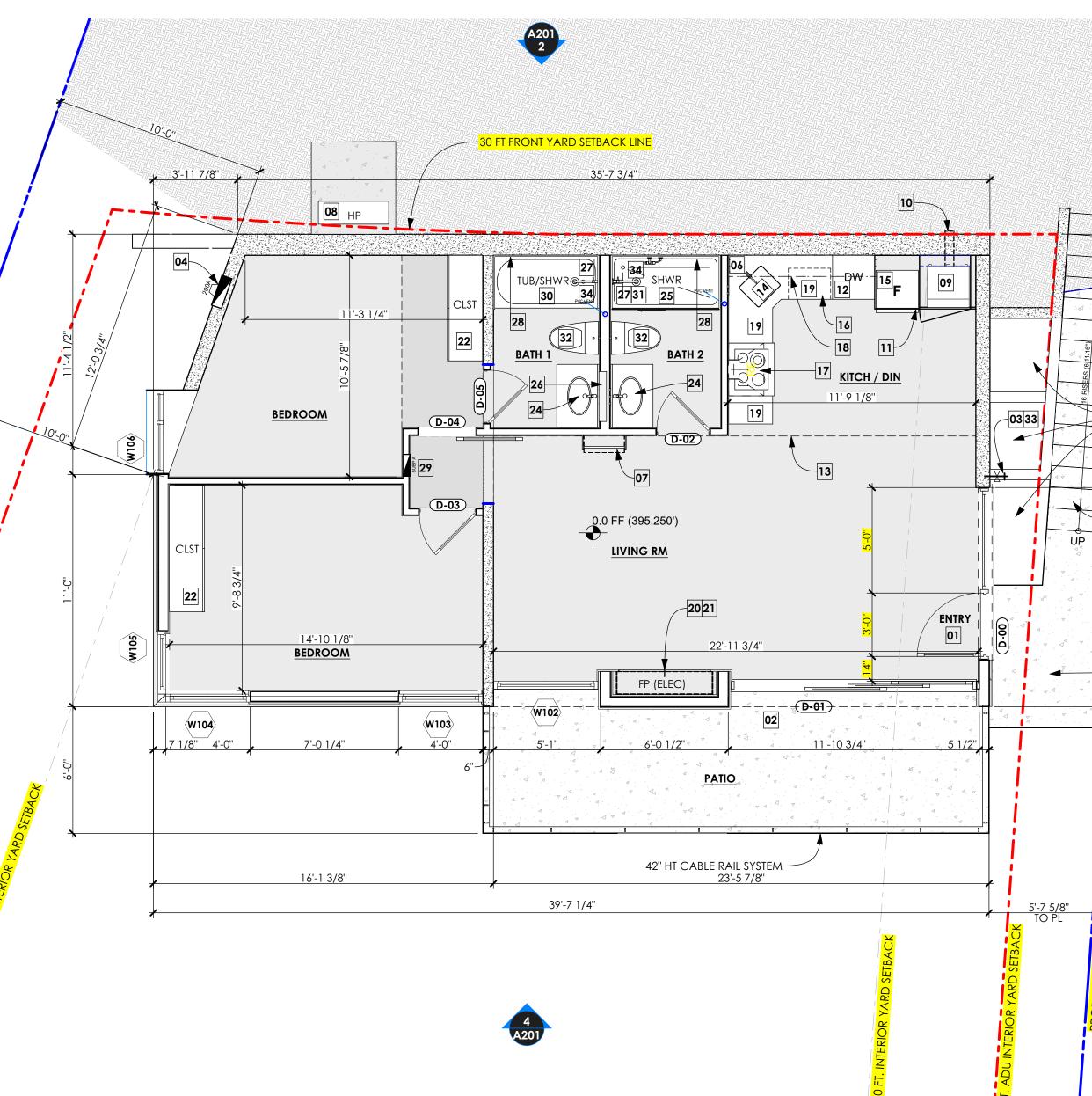
- 01 MAIN ENTRY SEE DOOR SCHEDULE OWNER TO CONFIRM LOCK SET AND HARDWARE W? CONTRACTOR PRIOR TO ORDER
- 02 LANDING AT EXTERIOR DOORS AT EXTERIOR DOORS THAT ARE NOT REQUIRED EXIT DOORS, LANDINGS SHALL BE NOT MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD.
- 03 MAIN WATER S.O.V. SEE CIVIL GRADING PLANS
- 04 200A ELECTRICAL SERVICE MAIN PANEL/METER "M" REFER TO ELEC. SHEETS
- 05 ELECTRIC W/H, VENT DIRECTLY OUTSIDE OF EXTERIOR WALL REFER TO M SHEETS: INSTALLED BY CONTRACTOR PER SPECIFICATIONS
- 06 REVERSE OSMOSIS UNDER COUNTER SYSTEM (PROVIDE TO FRIDGE WATER) BY OWNER INSTALLED BY CONTRACTOR
- 07 CUSTOM LADDER TO LOFT HARD WOOD TEREADS TO DOUBLE FOR/AND FINISH AS SHELVES DESIGN BUILD W/ CONTRACTOR
- 08 HEAT PUMP UNITS FOR MINI-SPLIT CONDITIONING SYSTEM INSTALL ON CONCRETE SUPPORT PADS PER MFR. REC. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION 09 WASHER AND DRYER - OWNER SELECT, CONTRACTOR INSTALL. PROVIDE GAS & ELEC. OPTIONAL HOOKUP. TERMINATION OF VENT SHALL COMPLY WITH SECTION 806.6 OF THE UNIFORM MECHANICAL CODE. DRYER VENTS THROUGH NEAREST EXTERIOR WALL. DRYER VENT SHOWN BY DASHED GREY LINE. DRYER DUCTS SHALL NOT EXCEED A COMBINED HORIZONTAL & VERTICAL LENGTH OF 14FT, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET WILL BE DEDUCTED FOR EACH ELBOW IN EXCESS OF TWO.
- 10 DRYER VENT LOCATION 11 CUSTOM FULL HEIGHT FRIDGE/LAUNDRY/STOR CABINETRY - DESIGN BUILD TO SPECS OF SELECTED FRIDGE AND LAUNDRY EQUIP.
- 12 JENN-AIR 24" BUILT-IN TRIFECTA UNDER COUNTER DISHWASHER (38DBA; JDTSS244GP) OWNER TO CONFIRM SELECTION, CONTRACTOR INSTALL.
- 13 EDGE OF KITCHEN SOFFIT ABOVE.
- 14 KITCHEN CORNER SINK w/ FAUCET & GARBAGE DISPOSAL- OWNER SELECT, CONTRACTOR INSTALL.
- 15 24" BUILT-IN REFRIGERATOR/FREEZER (JS48NXFXDE) OWNER TO SELECT, CONTRACTOR INSTALL.
- 16 JENN-AIR 24" UNDER COUNTER MICROWAVE OVEN W/ DRAWER DESIGN (JMDFS24GS) OWNER TO CONFIRM SELECTION, CONTRACTOR INSTALL.
- 17 JENN-AIR 30" INDUCTION SLIDE IN RANGE (JIS1450DS) W/ 30" PYRAMID CANOPY WALL 600 CFM VENTILATION HOOD (JXW8530HS) (CONTRACTOR TO INSTALL ELECTRICAL CIRCUIT FOR INDUCTUCTION RANGE) OWNER TO CONFIRM SELECTIONS, CONTRACTOR INSTALL.
- 18 BUILT IN UPPER SHELVING/CABINETRY OWNER TO SELECT SIZE & DEPTH & STYLE OF STORAGE. CONTRACTOR INSTALL.
- 19 24" D BASE CABINETS TO 36" HI. w/ COUNTER TOP OWNER SELECTED, CONTRACTOR INSTALL. 20 UL LISTED ELECTRIC FIREPLACE ; Dimplex Opti-V™ Duet Virtual Fireplace (VF5452L)
- 21 BUILT IN CUSTOM ENTERTAINMENT CENTER W/ CABINETRY / BOOK CASE DESIGN BUILD W/ ARCHITECT & CONTRACTOR.
- 22 CUSTOM CLOSET CABINETRY 7' HI. CUSTOM CLST CAB. OWNER TO CONSULT W/ CLOSET SPECIALIST OR DESIGN BUILD w/ CONTRACTOR.
- 23 CUSTOM SHELVING AND COUNTER TO MATCH SINK/VANITY OWNER SELECT, DESIGN/BUILD W/CONTRACTOR INSTALL.
- 24 VANITY SINK IN 36" HI. 24" D BASE CABINET AND COUNTER SURFACE. OWNER SELECT, CONTRACTOR INSTALL.
- 25 WALK IN SHOWER W/ TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5]& TIGHT FITTING SLIDING GLASS DOOR TO 70" HEIGHT - FIXTURES, FAUCETS & TILE - OWNER SELECT, CONTRACTOR INSTALL
- 26 ROBERN PLN1640 SERIES INSET MEDICINE CABINETS W/ ELECT. W/2 INLINE MODULAR LIGHTS ON EA. SIDE OF 20" M SERIES MIRROR @ CENTER- OWNER TO CONFIRM SELECTION, CONTRACTOR INSTALL. 27 SHOWER & TUB FAUCETS - PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. (CPC 408.3) OWNER SELECT, CONTRACTOR INSTALL.
- 28 WALK IN SHOWER W/ TILE WALLS MIN 70" HEIGHT TIGHT FITTING SHOWER DOOR TO 70" HEIGHT w/ TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5]; BENCH, FAUCETS & TILE - OWNER SELECT, CONTRACTOR INSTALL SEE 5/A-504
- 29 SUB PANEL "A": REFER TO ELECTRICAL DRAWINGS
- 30 SHOWER/TUB COMBO UNIT. NON-SLIP JOINT TRAP SHALL BE USED (CPC Sec.402.10) MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWERS SHALL BE A MATERIAL TYPE NOT ADVERSELY AFFECTED BY MOISTURE.- FINISH MATERIAL IN SHOWER SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. IF OTHER THAN SHOWER CURTAIN IS USED, SHOWER DOORS TO BE TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5]& TIGHT FITTING SLIDING GLASS DOOR TO 70" HEIGHT
- 31 THERMOSTATIC SHOWER VALVE/TUB MIXING VALVE CONTROLS LOCATION: PROVIDE INDIVIDUAL CONTROL VALVES PER (CPC 408.3) - OWNER TO SELECT MAKE/MODEL
- 32 ELONGATED TOILET OWNER SELECT (MAX 1.28 GAL PER FLUSH. MIN 24" CLEAR SPACE @ FRONT OF TOILET.)
- 33 WATER SHUT OFF LOCATION CONFIRM W/ OWNER PRIOR TO INSTALLATION
- 34 10" RAIN SHOWER HEAD OWNER SELECT, CONTRACTOR INSTALL.
- 35 SCUTTLE ATTIC ACCESS @ CEILING MINIMUM 22" x 30" SEE SHEET G.002 NOTES "F.2" FOR ADDITIONAL INFORMATION.



- A201



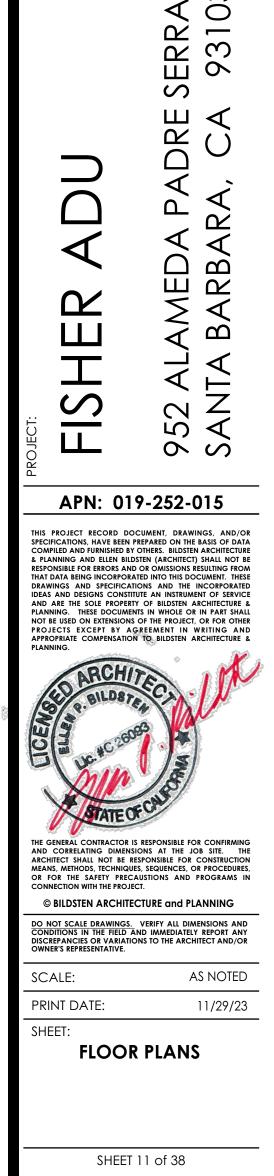




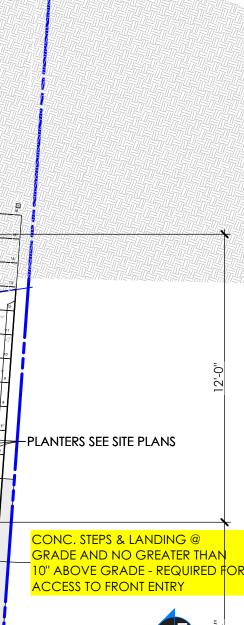
PLAN GENERAL NOTES

- A. REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL INFORMATION. REFER TO SHEET GN 002 FOR ADDITIONAL GENERAL CONSTRUCTION
- ALL DIMENSIONS ARE TO FRAMING EDGE OR CENTER AND NOT TO FINISH WALL UNLESS NOTED OTHERWISE (U.N.O.)
- C. SEE STRUCTURAL S PLANS FOR ADDITIONAL STRUCTURAL INFORMATION.
- D. SEE CIVIL C PLANS FOR ADJACENT GRADE REFERENCE AND GRADING INFORMATION.
- E. SEE SITE PLANS AND/OR CIVIL PLANS FOR ADDITIONAL SITE INFORMATION.
- F. SEE DOOR AND WINDOW SCHEDULES ON A-600 SERIES SHEETS FOR TYPES, SIZES & DETAILS.
- G. CROSS REFERENCE & VERIFY ALL FINISH FLOOR HEIGHTS WITH CIVIL PLANS.
- H. REFER TO KEYNOTES AND DETAILS FOR ADDITIONAL
- INFO. I. ALL GYP. BOARD AT INTERIOR WALLS TO BE 5/8".
- J. ALL INTERIOR PAINT, PLASTER FINISHES TO BE LOW OR NO VOC.
- K. ALL CABINETS, TRIM, AND INTERIOR FINISHES TO BE OWNER SELECTED.
- ENCLOSED ROOF EAVES, ROOF EAVE SOFFITS, AND EXTERIOR PORCH CEILINGS SHALL HAVE A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3. CBC707A.5 thru 8, CRC R337.7.5 thru 8
- DUCTS IN THE BASEMENT/CRAWL SPACE AND M. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE BASEMENT/CRAWL SPACE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE BASEMENT/CRAWL SPACE. CRC R302.5.2
- WHEN THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BACONIES AND STAIRS OR ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING, THE WALKING SURFACE MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF CBC SECTION 709A.3 (CRC R337.9.3) WHERE THE WALKING SURFACE MATERIAL SHALL BE CONSTRUCTED WITH IGNITION-RESISTANT MATERIAL COMPLIANT WITH PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND 12-7A-5.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [CBC 705A.4 / О. CRC R337.5.4]
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUALGLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE (CBC 2406) OR SHALL BE GLASS BLOCK UNITS OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. (CBC 708A.2.1 & 708A.3.1, CRC R337.8.2.1 & R337.8.3.1)
- SAFETY GLAZING SHALL BE CATEGORY II Q. SFTY GLAZING TESTED IN ACCORDANCE WITH CPSC 16 CFR 1201 AS REQUIRED BY (CRC R308.3.1) AND IN CONFORMANCE WITH THE APPLICABLE CHAPTER [CRC R308.1] IN THE FOLLOWING AREAS: GLAZING WITHIN 24" OF DOORS
- GLAZING IN ANY PORTIONS OF TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET. [CRC R308.4.5]
- GLAZING IN STAIR LANDINGS AND WINTHIN 60" OF THE BOTTOM AND TOP OF THE STAIRWAY. - <u>THE EXPOSED</u> AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
- ALL EXTERIOR WALLS USE R-21 BATT MIN. ROOF & EAVE CAVITIES SHALL BE DEMILEC APX 1.2 R-value of R-3.7/INCH (ICC-ES ACC-377 appendix X compliant) (ICC ESR-3470) SPRAY FOAM INSULATION WITH MIN R-38. REFER TO TITLE 24 ENERGY CALCULATIONS FOR MORE INFORMATION.
- EXTERIOR WALL ASSEMBLIES ON THIS STRUCTURE SHALL COMPLY WITH WUI PROVIDING A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE PER CBC 707A3.1, CRC R337.7.3
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED FAVES. TERMINATE AT THE ENCLOSURE. CBC707A.3.1, CRC R33.7.7.3.1
- FIRE BLOCKING SHALL BE PROVIDED: 1) IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS @ 10' INTERVALS ALONG WALLS.
- 2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN-LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- 4) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILINGS AND FLOOR LEVELS, WITH INCOMBUSTIBLE MATERIALS.
- 5) AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
- V. MIN. 5/8" TYPE "X" GYPSUM BOARD APPLIED ON THE CEILING OF BASEMENT/CRAWLSPACE SIDE WHERE HABITABLE ROOM IS LOCATED ABOVE (INCLUDING STRUCTURAL MEMBERS SUPPORTING THE UPPER FLOOR, CEILING, POST AND BEAM) PER CRC TABLE R302.6
- W. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7SQ. FT. (EXCEPT AT GRADE FLOOR OPENING SHALL BE MIN. 5 SQ. FT.) MIN. NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIM. 20" CLEAR. FINISHED SILL HEIGHT MAX 44" ABOVE FLOOR. CRC R310.2.1
- X. PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE STANDARDS AS OUTLINED ON SHEET GN-003 PER SECTION CGBC4.303
- Y. ALL SOLID FUEL BURNING APPLIANCES MAY BE INSTALLED ONLY IF "EPA" CERTIFIED AS REQUIRED BY THE AIR POLLUTION CONTROL BOARD. EXCEPTION B APPROVED GAS APPLIANCES: FXTERIOR FIRE PLACES STANDING ALONE AS GARDEN & BBQ APPLIANCES









0 2' 4



-NEW RETAINING WALL @ PROPERTY LI

CONC. LANDING (ON GRADE) REQUIRED FOR ACCESS TO FRONT E



0 2' 4'

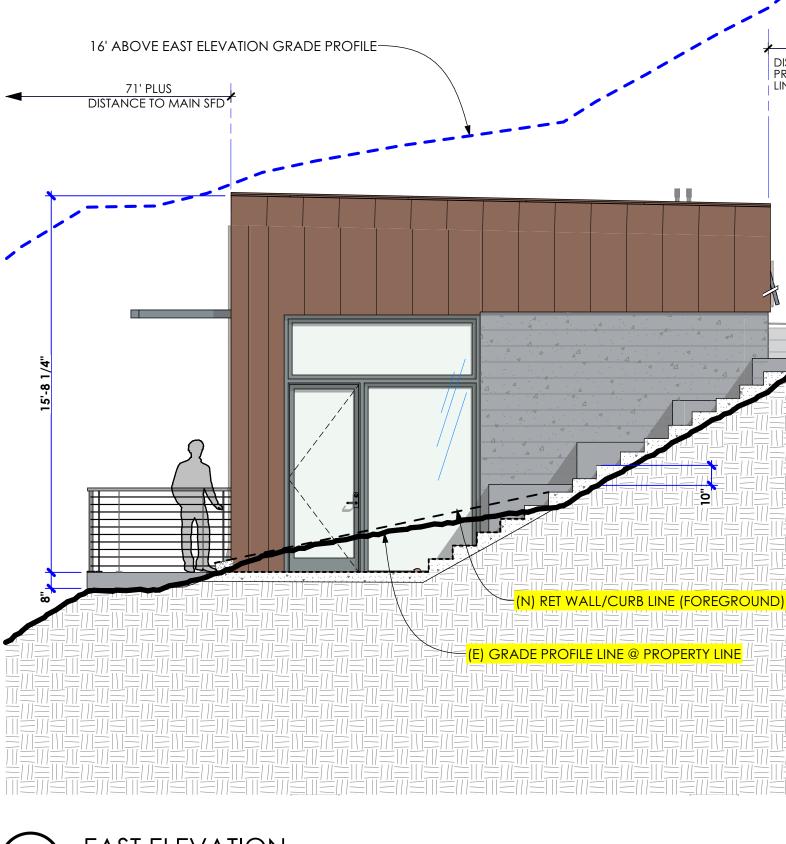
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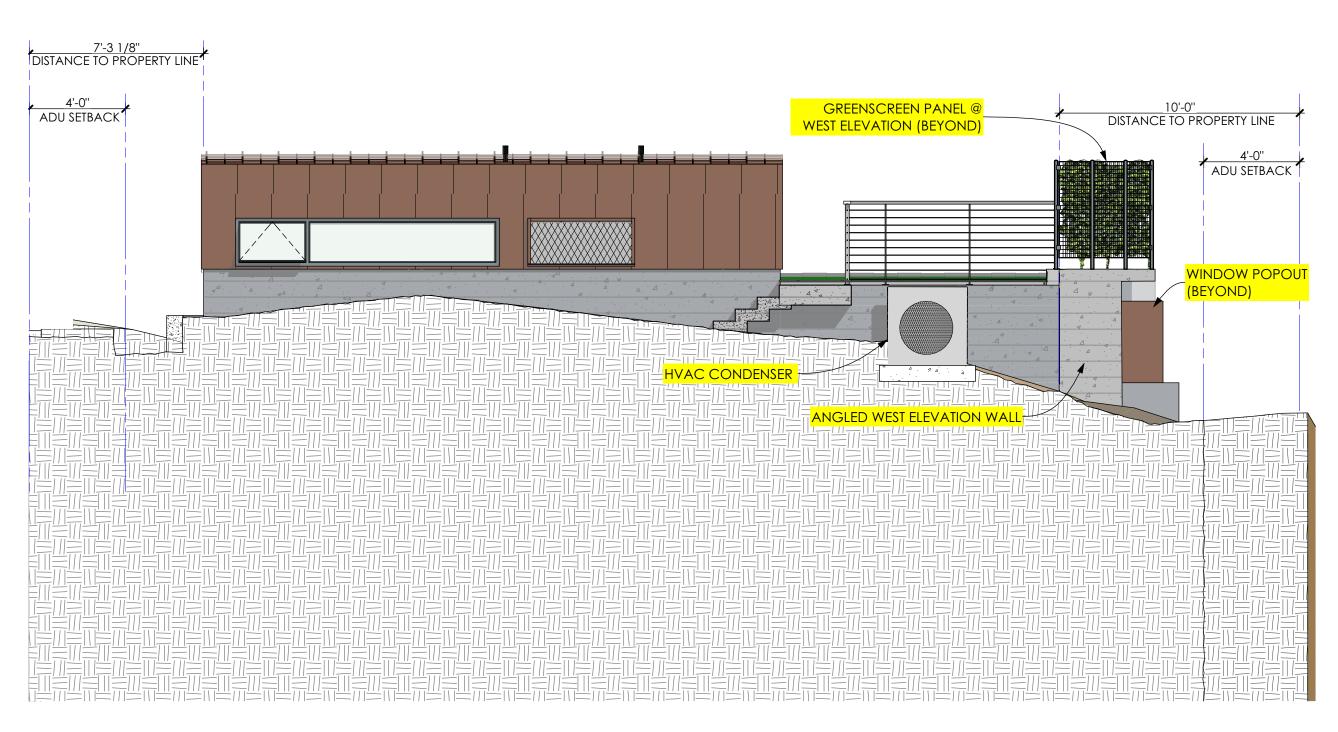


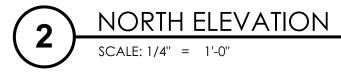
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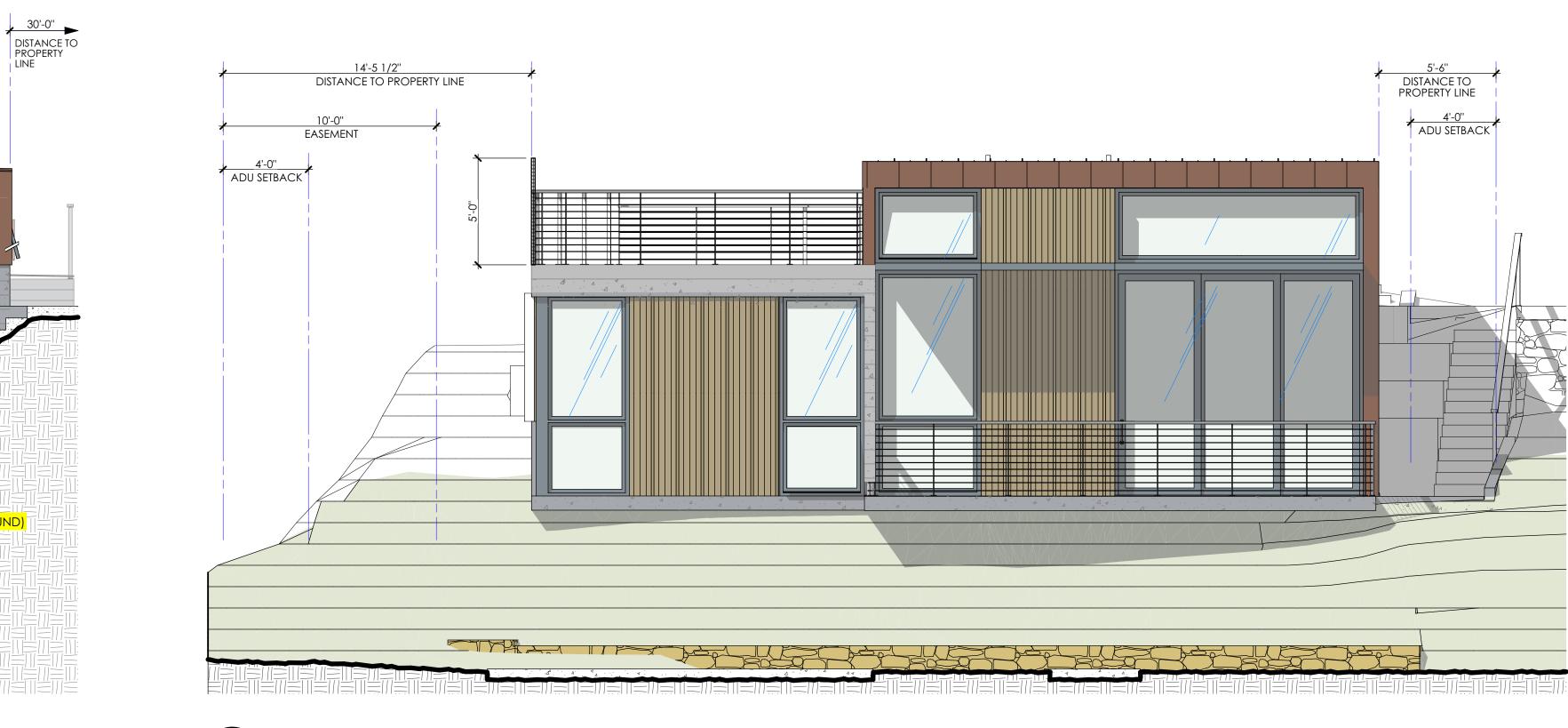




EAST ELEVATION 3 SCALE: 1/4" = 1'-0"







SOUTH ELEVATION SCALE: 1/4" = 1'-0"

4

0 2' 4'



0 2' 4'

0 2'